

Notice of Intent
For
45 Buswell Park
Newton, MA

Prepared for: Brittany & Dustin Bennett
45 Buswell Park
Newton, MA 02458

Prepared by: MetroWest Engineering, Inc.
75 Franklin Street
Framingham, MA 01702
(508)-626-0063

November, 2021

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Project Narrative

**Notice of Intent Project Narrative
Proposed Site Improvements
45 Buswell Park, Newton MA**

Property Information

Project Location: 45 Buswell Park
Newton, MA 02458
Assessor's Map 7203, Lot 32D

Applicant and Owner

Brittany and Dustin Bennett
45 Buswell Park
Newton, MA 02458

Existing Conditions

The subject property is located approximately 500 feet east of the intersection of Centre Street and Buswell Park and is presently improved with an existing single-family house, hardscape and landscape areas and supporting utilities. The existing house is set back approximately 25 feet from the southerly sideline of Buswell Park in the westerly portion of the lot and is accessed by an existing bituminous concrete driveway.

The site is relatively flat with minor grade changes observed. Hyde Brook, an intermittent stream, is located in the eastern portion of the lot. The streams flow is channelized by retaining walls. A small woodland area is located further east of the intermittent stream. The 100-foot Wetland Buffer Zone (BZ) extends outwards from its bank and encompasses a total area of 7,534 square feet in the westerly portion of the site. The City of Newton establishes a 25-foot Naturally Vegetated Buffer (NVB) policy and that buffer extends outwards, horizontally from the bank. Additionally, a 30-foot Watershed Protection District for Hyde Brook is identified in Section 22-22 (g)(3) of Newton's Zoning Bylaw.

Resource Areas and Buffers Zones	Total Area (S.F.)
Hyde Brook	189
100-foot Wetland Buffer Zone	13,258
25-foot Naturally Vegetated Buffer (NVB)	4,131
30-foot Watershed Protection District	4,946

Proposed Development

The proposed scope of work associated with this Notice of Intent includes the construction of new hardscape and landscape and installation of a rain garden to collect and infiltrate

Notice of Intent for 45 Buswell Park, Newton Massachusetts

runoff from the new impervious area. A portion of the proposed project will occur within the 100-foot Wetland Buffer Zone to the bank of Hyde Brook.

The proposed hardscape will be constructed behind the existing house and extended easterly towards Hyde Brook. Plantings are proposed around the perimeter of the hardscaping and a rain garden will be installed directly east of the patio area, in the NVB. The proposed hardscape will increase impervious area in the 100-foot BZ by 578 square feet.

Impervious Area within Wetland Buffer Zones & Overlay District (Square Feet)			
	Existing	Proposed	Difference
25-foot Naturally Vegetated Buffer	0 S.F.	0 S.F.	0 S.F.
30-foot Watershed Protection District	0 S.F.	0 S.F.	0 S.F.
100-foot Wetland Buffer Zone	1,396 S.F.	1,974 S.F.	+578 S.F.

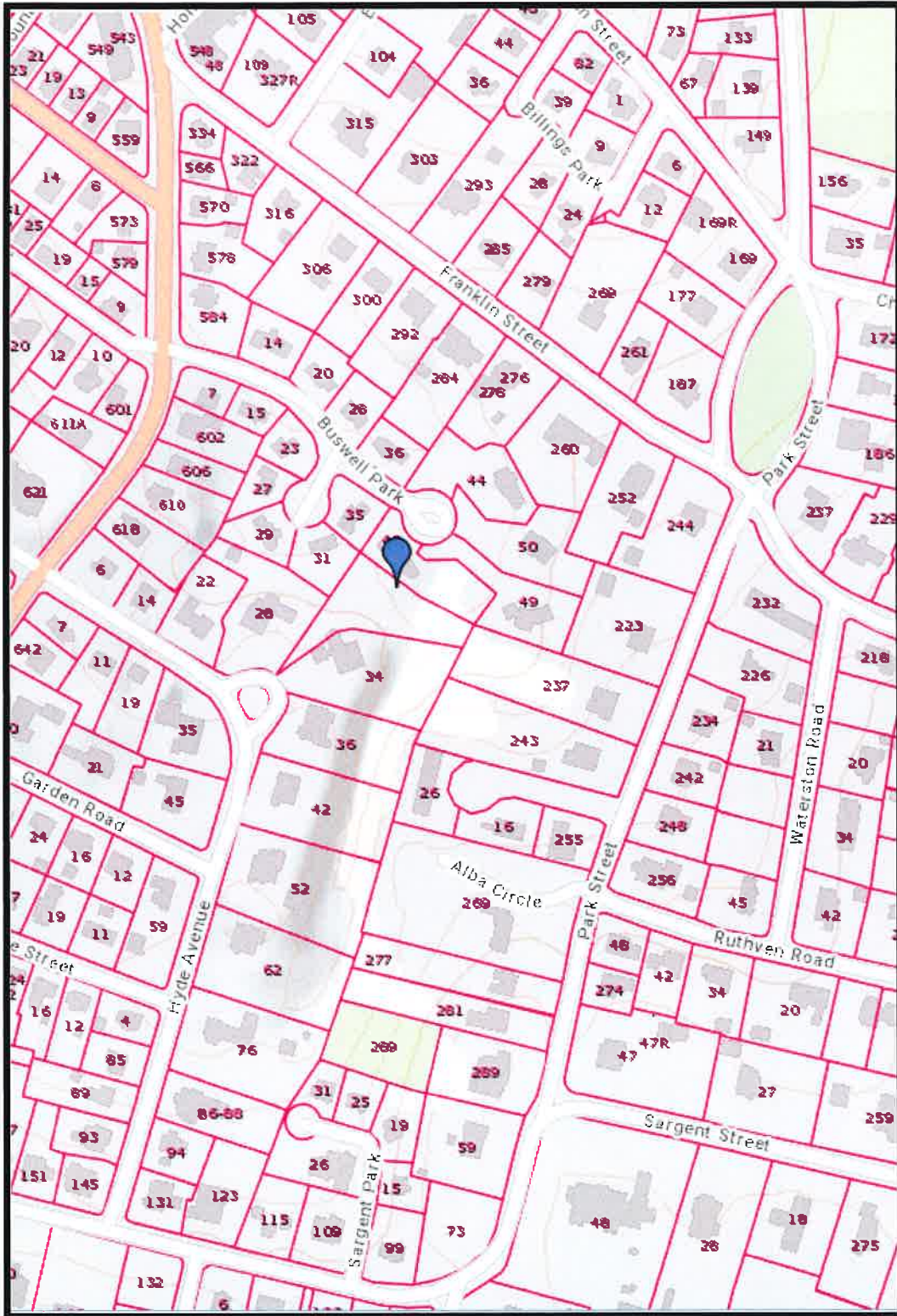
The proposed scope of work to take place within the 25-foot NVB and 30-foot Watershed Protection District is limited to the construction of the rain garden. The rain garden will be approximately 552 square feet in size and is designed to collect and infiltrate runoff from the proposed hardscape, synthetic turf and rear roof of the existing building. Earthwork associated with construction of the rain garden will result in a volumetric reduction of three cubic yards within the 30-foot Watershed Protection District and 25-foot NVB. No impervious area is proposed within the 25-foot NVB or 30-foot Watershed Protection District.

Total Volume of Cut and Fill in 30-foot Watershed Protection District (C.Y.)	
Cut	18 CY
Fill	15 CY
Difference	-3 CY

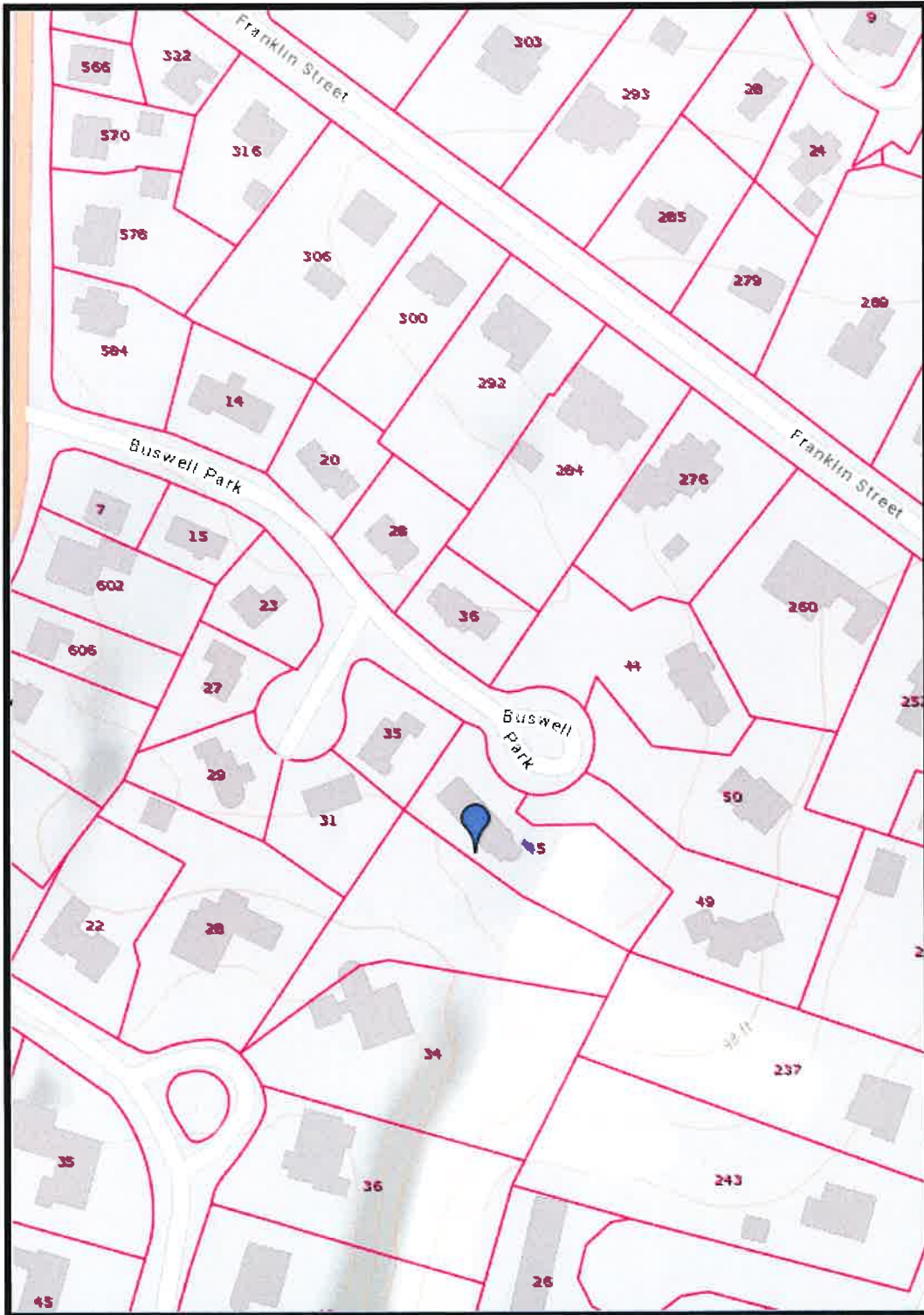
Additional landscaping and synthetic turf is proposed in the western most portion of the parcel, outside of the 100-foot BZ. As previously noted, stormwater runoff generated by the synthetic turf will be sufficiently managed by the proposed rain garden. The proposed stormwater management system will reduce runoff rates and volumes from new and existing impervious areas. During construction, appropriate erosion controls will be established along the limits of work to prevent sedimentation caused by stormwater runoff. A proposed planting and landscaping plan was prepared by the MacDowell Company and submitted as part of this application.

Locus Map, USGS Topographic Map, NHESP Map, and
DEP Wetlands Map

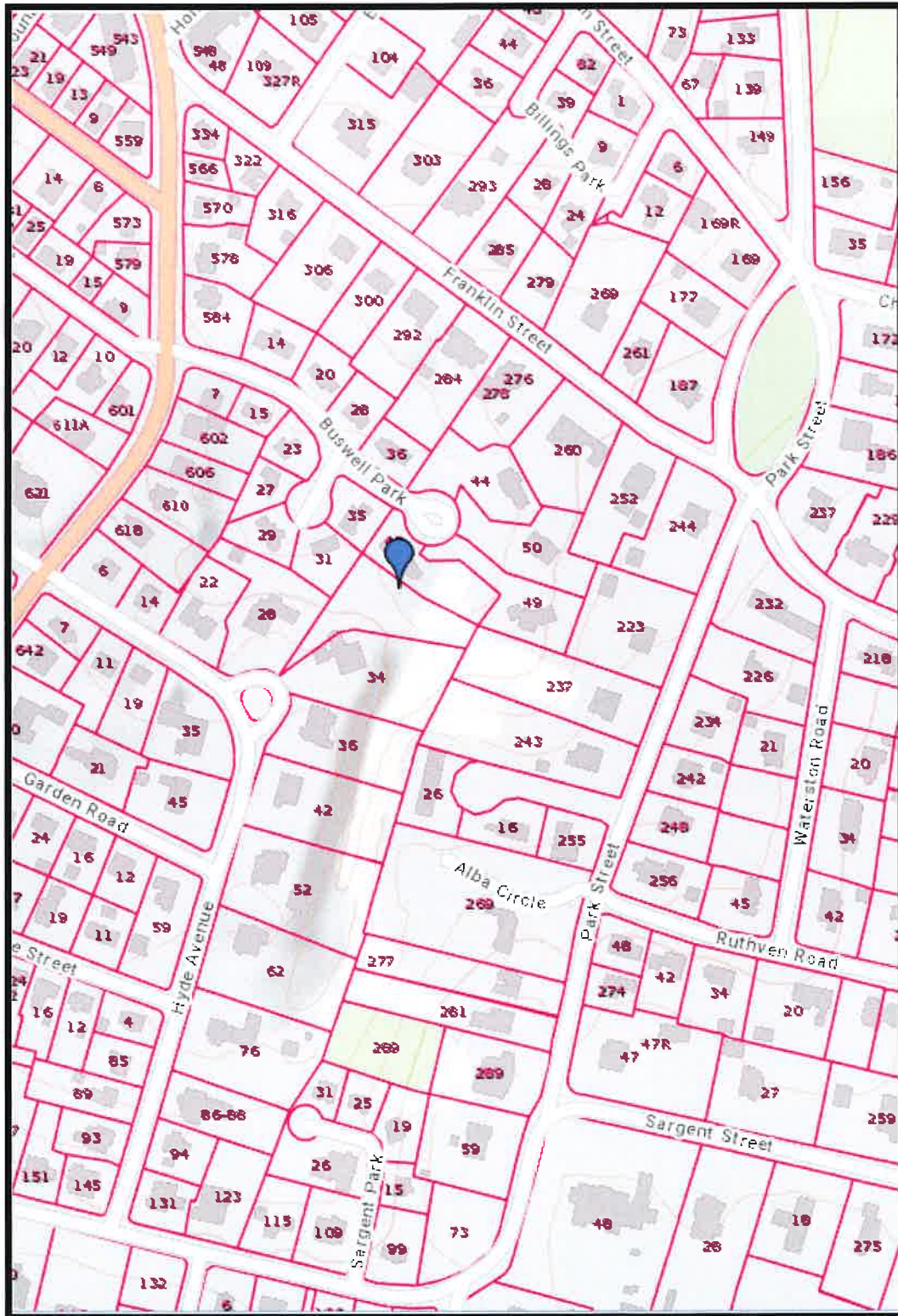
Locus Map: 45 Buswell Park, Newton MA



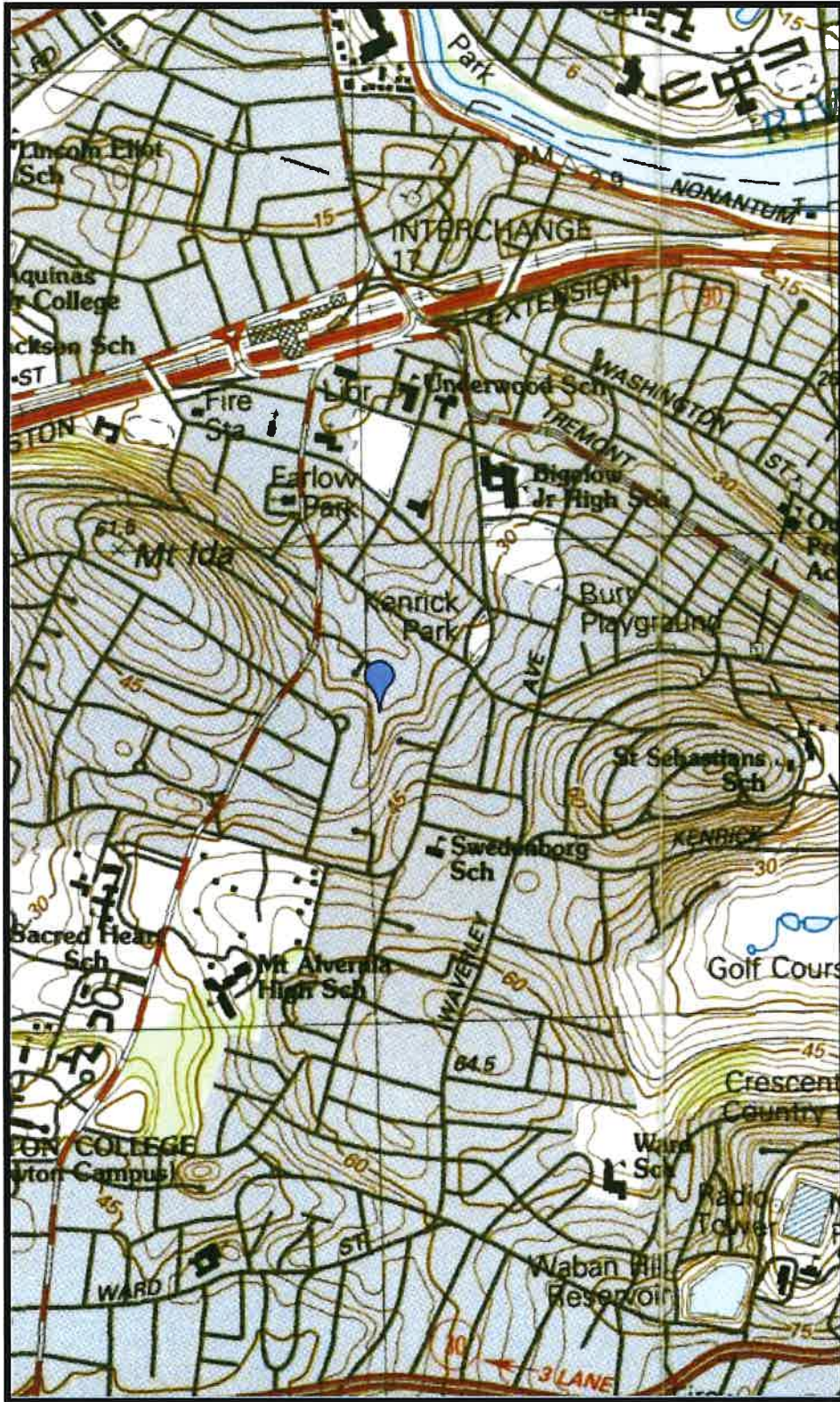
DEP Wetlands Map: 45 Buswell Park, Newton MA



NHESP Program Map: 45 Buswell Park, Newton MA



USGS Topography Map: 45 Buswell Park, Newton MA



WPA Form 3 and DEP Wetland Fee Transmittal Form



Massachusetts Department of Environmental Protection
 Bureau of Resource Protection - Wetlands
WPA Form 3 – Notice of Intent
 Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Provided by MassDEP:

MassDEP File Number

Document Transaction Number

Newton

City/Town

Important:
 When filling out forms on the computer, use only the tab key to move your cursor - do not use the return key.



Note:
 Before completing this form consult your local Conservation Commission regarding any municipal bylaw or ordinance.

A. General Information

1. Project Location (**Note:** electronic filers will click on button to locate project site):

45 Buswell Park

a. Street Address

Newton

b. City/Town

02458

c. Zip Code

Latitude and Longitude:

42°20'59" N

d. Latitude

71°11'04"W

e. Longitude

Map 72, Block 23

f. Assessors Map/Plat Number

Lot 32D

g. Parcel /Lot Number

2. Applicant:

Brittany & Dustin

a. First Name

Bennett

b. Last Name

c. Organization

45 Buswell Park

d. Street Address

Newton

e. City/Town

MA

f. State

02458

g. Zip Code

h. Phone Number

i. Fax Number

Please contact owner's representative

j. Email Address

3. Property owner (required if different from applicant): Check if more than one owner

a. First Name

b. Last Name

c. Organization

d. Street Address

e. City/Town

f. State

g. Zip Code

h. Phone Number

i. Fax Number

j. Email address

4. Representative (if any):

Robert

a. First Name

Gemma

b. Last Name

MetroWest Engineering, Inc

c. Company

75 Franklin Street

d. Street Address

Framingham

e. City/Town

MA

f. State

01702

g. Zip Code

508-626-0063

h. Phone Number

i. Fax Number

rgemma@mwengineering.com

j. Email address

5. Total WPA Fee Paid (from NOI Wetland Fee Transmittal Form):

\$110.00

a. Total Fee Paid

\$42.50

b. State Fee Paid

\$67.50

c. City/Town Fee Paid



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A. General Information (continued)

6. General Project Description:

Construction of new hardscape area and landscaping behind existing house and installation of a rain garden to capture and infiltrate runoff from new impervious area.

7a. Project Type Checklist: (Limited Project Types see Section A. 7b.)

- 1. Single Family Home
- 2. Residential Subdivision
- 3. Commercial/Industrial
- 4. Dock/Pier
- 5. Utilities
- 6. Coastal engineering Structure
- 7. Agriculture (e.g., cranberries, forestry)
- 8. Transportation
- 9. Other

7b. Is any portion of the proposed activity eligible to be treated as a limited project (including Ecological Restoration Limited Project) subject to 310 CMR 10.24 (coastal) or 310 CMR 10.53 (inland)?

- 1. Yes No If yes, describe which limited project applies to this project. (See 310 CMR 10.24 and 10.53 for a complete list and description of limited project types)

2. Limited Project Type

If the proposed activity is eligible to be treated as an Ecological Restoration Limited Project (310 CMR10.24(8), 310 CMR 10.53(4)), complete and attach Appendix A: Ecological Restoration Limited Project Checklist and Signed Certification.

8. Property recorded at the Registry of Deeds for:

Middlesex County

a. County

75331

c. Book

b. Certificate # (if registered land)

257

d. Page Number

B. Buffer Zone & Resource Area Impacts (temporary & permanent)

- 1. Buffer Zone Only – Check if the project is located only in the Buffer Zone of a Bordering Vegetated Wetland, Inland Bank, or Coastal Resource Area.
- 2. Inland Resource Areas (see 310 CMR 10.54-10.58; if not applicable, go to Section B.3, Coastal Resource Areas).

Check all that apply below. Attach narrative and any supporting documentation describing how the project will meet all performance standards for each of the resource areas altered, including standards requiring consideration of alternative project design or location.



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B. Buffer Zone & Resource Area Impacts (temporary & permanent) (cont'd)

For all projects affecting other Resource Areas, please attach a narrative explaining how the resource area was delineated.

<u>Resource Area</u>	<u>Size of Proposed Alteration</u>	<u>Proposed Replacement (if any)</u>
a. <input type="checkbox"/> Bank	1. linear feet _____	2. linear feet _____
b. <input type="checkbox"/> Bordering Vegetated Wetland	1. square feet _____	2. square feet _____
c. <input type="checkbox"/> Land Under Waterbodies and Waterways	1. square feet _____	2. square feet _____
	3. cubic yards dredged _____	

<u>Resource Area</u>	<u>Size of Proposed Alteration</u>	<u>Proposed Replacement (if any)</u>
d. <input type="checkbox"/> Bordering Land Subject to Flooding	1. square feet _____	2. square feet _____
	3. cubic feet of flood storage lost _____	4. cubic feet replaced _____
e. <input type="checkbox"/> Isolated Land Subject to Flooding	1. square feet _____	
	2. cubic feet of flood storage lost _____	3. cubic feet replaced _____

f. Riverfront Area

1. Name of Waterway (if available) - **specify coastal or inland** _____

2. Width of Riverfront Area (check one):

25 ft. - Designated Densely Developed Areas only

100 ft. - New agricultural projects only

200 ft. - All other projects

3. Total area of Riverfront Area on the site of the proposed project: _____ square feet

4. Proposed alteration of the Riverfront Area:

_____ a. total square feet _____ b. square feet within 100 ft. _____ c. square feet between 100 ft. and 200 ft.

5. Has an alternatives analysis been done and is it attached to this NOI? Yes No

6. Was the lot where the activity is proposed created prior to August 1, 1996? Yes No

3. Coastal Resource Areas: (See 310 CMR 10.25-10.35)

Note: for coastal riverfront areas, please complete **Section B.2.f.** above.



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B. Buffer Zone & Resource Area Impacts (temporary & permanent) (cont'd)

Check all that apply below. Attach narrative and supporting documentation describing how the project will meet all performance standards for each of the resource areas altered, including standards requiring consideration of alternative project design or location.

Online Users:
 Include your document transaction number (provided on your receipt page) with all supplementary information you submit to the Department.

<u>Resource Area</u>	<u>Size of Proposed Alteration</u>	<u>Proposed Replacement (if any)</u>
a. <input type="checkbox"/> Designated Port Areas	Indicate size under Land Under the Ocean, below	
b. <input type="checkbox"/> Land Under the Ocean	1. square feet _____	
	2. cubic yards dredged _____	
c. <input type="checkbox"/> Barrier Beach	Indicate size under Coastal Beaches and/or Coastal Dunes below	
d. <input type="checkbox"/> Coastal Beaches	1. square feet _____	2. cubic yards beach nourishment _____
e. <input type="checkbox"/> Coastal Dunes	1. square feet _____	2. cubic yards dune nourishment _____
	<u>Size of Proposed Alteration</u>	<u>Proposed Replacement (if any)</u>
f. <input type="checkbox"/> Coastal Banks	1. linear feet _____	
g. <input type="checkbox"/> Rocky Intertidal Shores	1. square feet _____	
h. <input type="checkbox"/> Salt Marshes	1. square feet _____	2. sq ft restoration, rehab., creation _____
i. <input type="checkbox"/> Land Under Salt Ponds	1. square feet _____	
	2. cubic yards dredged _____	
j. <input type="checkbox"/> Land Containing Shellfish	1. square feet _____	
k. <input type="checkbox"/> Fish Runs	Indicate size under Coastal Banks, inland Bank, Land Under the Ocean, and/or inland Land Under Waterbodies and Waterways, above	
	1. cubic yards dredged _____	
l. <input type="checkbox"/> Land Subject to Coastal Storm Flowage	1. square feet _____	
4. <input type="checkbox"/> Restoration/Enhancement	If the project is for the purpose of restoring or enhancing a wetland resource area in addition to the square footage that has been entered in Section B.2.b or B.3.h above, please enter the additional amount here.	
	a. square feet of BVW _____	b. square feet of Salt Marsh _____
5. <input type="checkbox"/> Project Involves Stream Crossings		
	a. number of new stream crossings _____	b. number of replacement stream crossings _____



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C. Other Applicable Standards and Requirements

This is a proposal for an Ecological Restoration Limited Project. Skip Section C and complete Appendix A: Ecological Restoration Limited Project Checklists – Required Actions (310 CMR 10.11).

Streamlined Massachusetts Endangered Species Act/Wetlands Protection Act Review

1. Is any portion of the proposed project located in **Estimated Habitat of Rare Wildlife** as indicated on the most recent Estimated Habitat Map of State-Listed Rare Wetland Wildlife published by the Natural Heritage and Endangered Species Program (NHESP)? To view habitat maps, see the *Massachusetts Natural Heritage Atlas* or go to http://maps.massgis.state.ma.us/PRI_EST_HAB/viewer.htm.

a. Yes No

If yes, include proof of mailing or hand delivery of NOI to:

**Natural Heritage and Endangered Species Program
 Division of Fisheries and Wildlife
 1 Rabbit Hill Road
 Westborough, MA 01581**

online source

b. Date of map

If yes, the project is also subject to Massachusetts Endangered Species Act (MESA) review (321 CMR 10.18). To qualify for a streamlined, 30-day, MESA/Wetlands Protection Act review, please complete Section C.1.c, and include requested materials with this Notice of Intent (NOI); OR complete Section C.2.f, if applicable. *If MESA supplemental information is not included with the NOI, by completing Section 1 of this form, the NHESP will require a separate MESA filing which may take up to 90 days to review (unless noted exceptions in Section 2 apply, see below).*

c. Submit Supplemental Information for Endangered Species Review*

1. Percentage/acreage of property to be altered:

(a) within wetland Resource Area

percentage/acreage

(b) outside Resource Area

percentage/acreage

2. Assessor's Map or right-of-way plan of site

2. Project plans for entire project site, including wetland resource areas and areas outside of wetlands jurisdiction, showing existing and proposed conditions, existing and proposed tree/vegetation clearing line, and clearly demarcated limits of work **

(a) Project description (including description of impacts outside of wetland resource area & buffer zone)

(b) Photographs representative of the site

* Some projects **not** in Estimated Habitat may be located in Priority Habitat, and require NHESP review (see <https://www.mass.gov/endangered-species-act-mesa-regulatory-review>).

Priority Habitat includes habitat for state-listed plants and strictly upland species not protected by the Wetlands Protection Act.

** MESA projects may not be segmented (321 CMR 10.16). The applicant must disclose full development plans even if such plans are not required as part of the Notice of Intent process.



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C. Other Applicable Standards and Requirements (cont'd)

- (c) MESA filing fee (fee information available at <https://www.mass.gov/how-to/how-to-file-for-a-mesa-project-review>).

Make check payable to "Commonwealth of Massachusetts - NHESP" and **mail to NHESP** at above address

Projects altering 10 or more acres of land, also submit:

- (d) Vegetation cover type map of site

- (e) Project plans showing Priority & Estimated Habitat boundaries

- (f) OR Check One of the Following

1. Project is exempt from MESA review.
 Attach applicant letter indicating which MESA exemption applies. (See 321 CMR 10.14, <https://www.mass.gov/service-details/exemptions-from-review-for-projectsactivities-in-priority-habitat>; the NOI must still be sent to NHESP if the project is within estimated habitat pursuant to 310 CMR 10.37 and 10.59.)

2. Separate MESA review ongoing. a. NHESP Tracking # b. Date submitted to NHESP

3. Separate MESA review completed.
 Include copy of NHESP "no Take" determination or valid Conservation & Management Permit with approved plan.

3. For coastal projects only, is any portion of the proposed project located below the mean high water line or in a fish run?

- a. Not applicable – project is in inland resource area only b. Yes No

If yes, include proof of mailing, hand delivery, or electronic delivery of NOI to either:

South Shore - Cohasset to Rhode Island border, and
 the Cape & Islands:

North Shore - Hull to New Hampshire border:

Division of Marine Fisheries -
 Southeast Marine Fisheries Station
 Attn: Environmental Reviewer
 836 South Rodney French Blvd.
 New Bedford, MA 02744
 Email: dmf.envreview-south@mass.gov

Division of Marine Fisheries -
 North Shore Office
 Attn: Environmental Reviewer
 30 Emerson Avenue
 Gloucester, MA 01930
 Email: dmf.envreview-north@mass.gov

Also if yes, the project may require a Chapter 91 license. For coastal towns in the Northeast Region, please contact MassDEP's Boston Office. For coastal towns in the Southeast Region, please contact MassDEP's Southeast Regional Office.

- c. Is this an aquaculture project? d. Yes No

If yes, include a copy of the Division of Marine Fisheries Certification Letter (M.G.L. c. 130, § 57).



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C. Other Applicable Standards and Requirements (cont'd)

4. Is any portion of the proposed project within an Area of Critical Environmental Concern (ACEC)?
- a. Yes No If yes, provide name of ACEC (see instructions to WPA Form 3 or MassDEP Website for ACEC locations). **Note:** electronic filers click on Website.
- b. ACEC
5. Is any portion of the proposed project within an area designated as an Outstanding Resource Water (ORW) as designated in the Massachusetts Surface Water Quality Standards, 314 CMR 4.00?
- a. Yes No
6. Is any portion of the site subject to a Wetlands Restriction Order under the Inland Wetlands Restriction Act (M.G.L. c. 131, § 40A) or the Coastal Wetlands Restriction Act (M.G.L. c. 130, § 105)?
- a. Yes No
7. Is this project subject to provisions of the MassDEP Stormwater Management Standards?
- a. Yes. Attach a copy of the Stormwater Report as required by the Stormwater Management Standards per 310 CMR 10.05(6)(k)-(q) and check if:
1. Applying for Low Impact Development (LID) site design credits (as described in Stormwater Management Handbook Vol. 2, Chapter 3)
 2. A portion of the site constitutes redevelopment
 3. Proprietary BMPs are included in the Stormwater Management System.
- b. No. Check why the project is exempt:
1. Single-family house
 2. Emergency road repair
 3. Small Residential Subdivision (less than or equal to 4 single-family houses or less than or equal to 4 units in multi-family housing project) with no discharge to Critical Areas.

D. Additional Information

- This is a proposal for an Ecological Restoration Limited Project. Skip Section D and complete Appendix A: Ecological Restoration Notice of Intent – Minimum Required Documents (310 CMR 10.12).

Applicants must include the following with this Notice of Intent (NOI). See instructions for details.

Online Users: Attach the document transaction number (provided on your receipt page) for any of the following information you submit to the Department.

1. USGS or other map of the area (along with a narrative description, if necessary) containing sufficient information for the Conservation Commission and the Department to locate the site. (Electronic filers may omit this item.)
2. Plans identifying the location of proposed activities (including activities proposed to serve as a Bordering Vegetated Wetland [BVW] replication area or other mitigating measure) relative to the boundaries of each affected resource area.

Online Users:
Include your document transaction number (provided on your receipt page) with all supplementary information you submit to the Department.



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Provided by MassDEP:

MassDEP File Number _____

Document Transaction Number _____

Newton
City/Town

D. Additional Information (cont'd)

- 3. Identify the method for BVW and other resource area boundary delineations (MassDEP BVW Field Data Form(s), Determination of Applicability, Order of Resource Area Delineation, etc.), and attach documentation of the methodology.
- 4. List the titles and dates for all plans and other materials submitted with this NOI.
 "Proposed Site Plan in Newton, Mass. 45 Buswell Park, dated November 18, 2021" (5 Sheets)
 a. Plan Title
 MetroWest Engineering, Inc
 b. Prepared By
 Robert A. Gemma PE, PLS
 c. Signed and Stamped by
 1"=20'
 d. Final Revision Date
 Preliminary Planting Plan by The MacDowell Company
 e. Scale
 11/17/21
 f. Additional Plan or Document Title
 g. Date
- 5. If there is more than one property owner, please attach a list of these property owners not listed on this form.
- 6. Attach proof of mailing for Natural Heritage and Endangered Species Program, if needed.
- 7. Attach proof of mailing for Massachusetts Division of Marine Fisheries, if needed.
- 8. Attach NOI Wetland Fee Transmittal Form
- 9. Attach Stormwater Report, if needed.

E. Fees

- 1. Fee Exempt: No filing fee shall be assessed for projects of any city, town, county, or district of the Commonwealth, federally recognized Indian tribe housing authority, municipal housing authority, or the Massachusetts Bay Transportation Authority.

Applicants must submit the following information (in addition to pages 1 and 2 of the NOI Wetland Fee Transmittal Form) to confirm fee payment:

1271	11/15/2021
2. Municipal Check Number	3. Check date
1272	11/15/2021
4. State Check Number	5. Check date
Dustin	Bennett
6. Payor name on check: First Name	7. Payor name on check: Last Name



**Massachusetts Department of Environmental Protection
Bureau of Resource Protection - Wetlands**

Provided by MassDEP:

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MassDEP File Number

Document Transaction Number

Framingham
City/Town

F. Signatures and Submittal Requirements

I hereby certify under the penalties of perjury that the foregoing Notice of Intent and accompanying plans, documents, and supporting data are true and complete to the best of my knowledge. I understand that the Conservation Commission will place notification of this Notice in a local newspaper at the expense of the applicant in accordance with the wetlands regulations, 310 CMR 10.05(5)(a).

I further certify under penalties of perjury that all abutters were notified of this application, pursuant to the requirements of M.G.L. c. 131, § 40. Notice must be made by Certificate of Mailing or in writing by hand delivery or certified mail (return receipt requested) to all abutters within 100 feet of the property line of the project location.

	11/15/2021
1. Signature of Applicant	2. Date
	11/22/21
3. Signature of Property Owner (if different)	4. Date
5. Signature of Representative (if any)	6. Date

For Conservation Commission:

Two copies of the completed Notice of Intent (Form 3), including supporting plans and documents, two copies of the NOI Wetland Fee Transmittal Form, and the city/town fee payment, to the Conservation Commission by certified mail or hand delivery.

For MassDEP:

One copy of the completed Notice of Intent (Form 3), including supporting plans and documents, one copy of the NOI Wetland Fee Transmittal Form, and a copy of the state fee payment to the MassDEP Regional Office (see Instructions) by certified mail or hand delivery.

Other:

If the applicant has checked the "yes" box in any part of Section C, Item 3, above, refer to that section and the Instructions for additional submittal requirements.

The original and copies must be sent simultaneously. Failure by the applicant to send copies in a timely manner may result in dismissal of the Notice of Intent.



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NOI Wetland Fee Transmittal Form
 Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Important: When filling out forms on the computer, use only the tab key to move your cursor - do not use the return key.



A. Applicant Information

1. Location of Project:

45 Buswell Park _____ Newton _____
 a. Street Address b. City/Town
 1271 _____ \$67.50 _____
 c. Check number d. Fee amount

2. Applicant Mailing Address:

Brittany & Dustin _____ Bennett _____
 a. First Name b. Last Name

 c. Organization
 45 Buswell Park _____
 d. Mailing Address
 Newton _____ MA _____ 02458 _____
 e. City/Town f. State g. Zip Code

 h. Phone Number i. Fax Number Please contact owner's representative
 j. Email Address

3. Property Owner (if different):

_____ b. Last Name _____
 a. First Name

 c. Organization

 d. Mailing Address
 _____ f. State _____ g. Zip Code _____
 e. City/Town
 _____ h. Phone Number i. Fax Number j. Email Address

To calculate filing fees, refer to the category fee list and examples in the instructions for filling out WPA Form 3 (Notice of Intent).

B. Fees

Fee should be calculated using the following process & worksheet. **Please see Instructions before filling out worksheet.**

Step 1/Type of Activity: Describe each type of activity that will occur in wetland resource area and buffer zone.

Step 2/Number of Activities: Identify the number of each type of activity.

Step 3/Individual Activity Fee: Identify each activity fee from the six project categories listed in the instructions.

Step 4/Subtotal Activity Fee: Multiply the number of activities (identified in Step 2) times the fee per category (identified in Step 3) to reach a subtotal fee amount. Note: If any of these activities are in a Riverfront Area in addition to another Resource Area or the Buffer Zone, the fee per activity should be multiplied by 1.5 and then added to the subtotal amount.

Step 5/Total Project Fee: Determine the total project fee by adding the subtotal amounts from Step 4.

Step 6/Fee Payments: To calculate the state share of the fee, divide the total fee in half and subtract \$12.50. To calculate the city/town share of the fee, divide the total fee in half and add \$12.50.



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B. Fees (continued)

Step 1/Type of Activity	Step 2/Number of Activities	Step 3/Individual Activity Fee	Step 4/Subtotal Activity Fee
Category 1 a) work on a single family lot	1	\$110.00	\$110.00
_____	_____	_____	_____
_____	_____	_____	_____
_____	_____	_____	_____
_____	_____	_____	_____
_____	_____	_____	_____
_____	_____	_____	_____
_____	_____	_____	_____

Step 5/Total Project Fee: _____

Step 6/Fee Payments:

Total Project Fee:	\$110.00
State share of filing Fee:	\$42.50
City/Town share of filling Fee:	\$67.50
	a. Total Fee from Step 5
	b. 1/2 Total Fee less \$12.50
	c. 1/2 Total Fee plus \$12.50

C. Submittal Requirements

- a.) Complete pages 1 and 2 and send with a check or money order for the state share of the fee, payable to the Commonwealth of Massachusetts.

Department of Environmental Protection
 Box 4062
 Boston, MA 02211

- b.) **To the Conservation Commission:** Send the Notice of Intent or Abbreviated Notice of Intent; a copy of this form; and the city/town fee payment.

To MassDEP Regional Office (see Instructions): Send a copy of the Notice of Intent or Abbreviated Notice of Intent; a copy of this form; and a copy of the state fee payment. (E-filers of Notices of Intent may submit these electronically.)

**Town of Newton
Conservation Commission
Cover Sheet and Checklist**



Ruthanne Fuller
Mayor

City of Newton, Massachusetts
Department of Planning and Development
1000 Commonwealth Avenue Newton, Massachusetts 02459

Telephone
(617) 796-1120
Telefax
(617) 796-1086
www.newtonma.gov

Barney S. Heath
Director

Conservation Commission Wetland Application Coversheet/Checklist

Date 11/23/21

Fill in all white cells completely

Parcel		Applicant name	Brittany + Dustin Bennett		
Address	45 BUSWELL PARK	Address	45 BUSWELL PARK, NEWTON		
Sec/Block/Lot	72/23/32D	Email	MASS 02458		
Book & Page	BK 75331 Pg 257	Phone	PLEASE CONTACT REPRESENTATIVE		
Owner name	Same as applicant	Representative	MetroWest Engineering		
Address		Address	75 Franklin Street		
Email		Email	FRAMMINGHAM MA 01702		
Phone		Phone	rgemma@mwengineering.com		
			508 626 0063 x 200		
Wetland type	Buffer zone	sf/cf affected	578 s.f.	Relevant Perf. Standards	10. <u>03</u>
Wetland type		sf/cf affected		Relevant Perf. Standards	10. _____
Wetland type		sf/cf affected		Relevant Perf. Standards	10. _____

Components of a Complete NOI Application

State Form: NOI Form 3	Included? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Engineered Plan* title(s)	"Propose a site plan in Newton Mass. 45 Buswell Park" November 18 2021 Robert A. Gemma P.E., P.L.S.
Plan date	
Plan stamped by	
*if legible, plans should be 11"x17"	
Narrative	Included? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Proof that all relevant perf. standards are met	Included? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Locus map	Included? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Delineation lines (backup material)	Included? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Fees	
● Fee Transmittal form	Included? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
● City portion of state filing fee <u>\$67.50</u>	Included? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
● City's separate filing fee <u>\$50</u>	Included? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Abutter Information	
● Certified abutters list (within 100')	Included? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
● Newton's Abutter notification form	Included? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
● Affidavit & proof -- bring to hearing	Present them at the hearing
Other Attachments, e.g.	
Planting Plan	Included? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> Not Applicable
Floodplain analysis	Included? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> Not Applicable
Stormwater analysis	Included? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> Not Applicable
Riverfront Area Alternatives Analysis	Included? <input type="checkbox"/> Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> Not Applicable
Restoration or mitigation summary	Included? <input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> Not Applicable
Phasing/Sequencing plan, O&M plan, etc.	Included? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> Not Applicable

Components of a Complete NOI Application

Conservation Commission Wetland Permit Process

NOI	RDA	Process
1	-	<p>Submit applications (see bullets below) by noon of the Tuesday deadline (16 days before the desired hearing):</p> <p>a. <u>To Newton Conservation Commission</u>: 1000 Comm Ave., Newton, MA 02459</p> <ul style="list-style-type: none"> • This coversheet (1 paper copy) • Complete application -- see the checklist on the other side of this page (2 paper copies and 1 pdf) <ul style="list-style-type: none"> • <i>IF LEGIBLE, plans should be provided in 11" x 17" format. Plans must be stamped by an engineer if any component of the project requires engineering.</i> • Check for city portion of the state fee • \$50 check for city filing fee <p>b. <u>To Mass DEP Northeast Regional Office</u>: 205B Lowell Street, Wilmington, MA 01887</p> <ul style="list-style-type: none"> • Complete application -- see the checklist on the other side of this page (1 paper copy) • Photocopy of the two state checks <p>c. <u>To DEP Lock Box</u>: Box 4062, Boston MA 02211</p> <ul style="list-style-type: none"> • Check for state portion of the state fee • Fee transmittal form
	1	<p>Submit application (see a.–c. below) by noon of the Tuesday deadline (16 days before the desired hearing):</p> <p>a. DEP Form 1 (RDA), b. plans, and c. \$50 check made out to the City of Newton.</p>
-	-	<i>The Conservation Agent will schedule a Public hearing/meeting.</i>
2	-	Get a certified list of all abutters within 100' of property lines from the Newton Assessor's Office.
3	-	Once you know the date and time of the hearing, notify all abutters within 100' of the property line using the City's " Notification to Abutters Form " and certified mail, certificate of mailing, or hand delivery with signatures . (N.B. Present proof of notification at the beginning of the public hearing.)
4	2	<i>The Conservation Agent will place a legal ad in the TAB and the Applicant will be billed for the ad.</i>
5	-	Stake the project. 2 weeks in advance of the public hearing, stake all proposed structures, erosion control barriers, stormwater systems, etc. within Con Com jurisdiction.
-	-	<i>The Conservation Agent will perform a site visit before the public hearing to confirm existing conditions and proposed work. If you wish to be informed of the time of the visit, please contact the Con Com office.</i>
6	3	<p>Attend the public hearing/meeting. The applicant or representative is expected to provide proof of abutter notification, briefly present the project, and answer any questions about possible impacts on wetlands. At the end of the hearing, the Con Com will either:</p> <ul style="list-style-type: none"> • Issue a <u>Determination of Applicability</u> ("negative" determination means no further permitting is needed), • Issue an <u>Order of Conditions</u> (OOC) approving or denying the project, or • Approve a continuation of the public hearing to allow time for additional information to be provided.
7	4	Receive and read the decision and understand the conditions. Contact the Con Com if you have any questions. Some conditions are temporary (such as maintaining erosion controls), and some are perpetual (such as maintaining restoration planting areas or limiting the use of fertilizers and outdoor lighting).
8	-	Wait-out the 10-Day appeal period. A decision of the Con Com can be appealed to MassDEP by any abutter, applicant, or 10-citizen group within 10 business days of the decision.
9	-	Record the Order at the Registry of Deeds. Provide proof of recording to the Conservation office.
10	-	Install MassDEP file number sign and erosion controls.
11	-	Schedule and attend a pre-construction site visit. Contact the Conservation office to schedule the site visit.
12	5	Execute the project. The project must be completed within 3 years, unless an extension of the permit is issued; extensions must be requested least 30 days prior to the expiration of the permit.
13	-	Request a Certificate of Compliance (COC). Once the project is complete and all conditions have been satisfied, request a COC from the Conservation office by submitting at least: (1) DEP Form 8a , (2) a stamped as-built plan , and (3) a letter from the engineer stating that everything is in substantial compliance with the approved plans and OOC. The Con Com will perform a site visit to ensure compliance and will issue a COC if appropriate.
14	-	Record the Certificate of Compliance (COC) at the Registry of Deeds to remove the cloud from the title. Provide proof of recording to the Conservation office.

INCOMPLETE APPLICATIONS WILL NOT BE ACCEPTED.

Wetland Resource Area Delineation Report



MetroWest Engineering, Inc.

Wetland Resource Area Delineation Report

Brittany & Dustin Bennett
45 Buswell Park
Newton, MA

November 11, 2021

General Description

45 Buswell Park is an approximately 0.47-acre parcel in Newton, MA. The parcel is a single-family residential lot that is presently improved with an existing house, asphalt driveway, two walks and a patio. Lawn and landscape areas make up the area immediately surrounding the house. The eastern portion of the lot is currently mixed hardwood forest. A stream channel flows south to north across the eastern third of the site. The stream which is not shown on the USGS Topographic Quadrangle map is presumed to be intermittent. The stream has been channelized and is bounded on both sides by a stone lined channel.

45 Buswell Park is the southerly lot at the end of a cul-de-sac. It is surrounded on all sides by similar single-family residences. Just north of the site, at the eastern end of the cul-de-sac, a bridge containing a common drive for two houses, crosses the stream. The area appears to have undergone historic filling and alteration in the creation of these lots. At the southerly property line for 45 Buswell Park, the channel becomes rocklined and straightened. The channel remains rocklined for its entirety as it crosses the locus. Outside of the rock wall, a layer of small stones extends out for several feet beyond the wall. Offsite to the south, the stream is more naturalized, it meanders and is naturally vegetated. No vegetated wetlands extend from the river bank onsite. An area of maintained turf lawn extends from the stone layer to the house. This lawn area has undergone historic filling and alteration as well. Bordering vegetated wetlands probably extended beyond the border of the channel under natural conditions, but the historic filling and alteration have removed those.

Methods

Methodology described in the Wetlands Protection Act and its Regulations were utilized to determine the limits of the wetland resource area. The top of bank is defined as the top of the stone retaining walls on either side of the channel.

Summary

This report describes the wetland resource areas affecting 45 Buswell Park, Newton, MA. This report reflects delineation according to 310 CMR10.55 as determined March 25, 2021. An intermittent stream, flows through a manmade channel south to north across the eastern portion of the property. No other resource areas are found on site.

Respectfully submitted,



Corey Van Wyhe
Metrowest Engineering, Inc

Abutter Notification and Certified List of Abutters

**Notification to Abutters under the
Massachusetts Wetlands Protection Act and
Newton Wetlands Protection Ordinance**

In accordance with the second paragraph of Massachusetts Wetlands Protection Act (Massachusetts General Laws Chapter 131, Section 40) and the Newton Floodplain Protection Ordinance, you are hereby notified of the following.

The applicant filed a **Notice of Intent** with the Conservation Commission for the municipality of Newton, MA seeking permission to **remove, fill, dredge or alter an area subject to protection under the Wetlands Protection Act** (General Laws Chapter 131, Section 40) and **Newton Floodplain Protection Ordinance** (City Ordinance Section 22-22. Floodplain/Watershed Protection Provisions).

Applicant: BRITTANY AND DUSTIN BENNETT

Project Location: 45 BUSWELL PARK

Project Section-Block-Lot: SECTION 72, BLOCK 23, LOT 32D

Project Description: CONSTRUCTION OF NEW HARDSCAPE AND LANDSCAPING
BEHIND EXISTING HOUSE AND INSTALLATION OF RAIN GARDEN
TO CAPTURE AND INFILTRATE STORMWATER RUNOFF.

A Public Hearing will be held remotely via Zoom.

The Public Hearing will be held remotely on:
DECEMBER 9, 2021 AT 7:00 PM
(date) (time)

The Public Hearing can be accessed remotely:

- From your computer or tablet: (weblink)
- Meeting ID: [XXXXXXXXXX]
- From your phone: Dial +1 646 558 8656, followed by (meeting ID#) XXXXXXXXXXXX#

Information regarding the date, time, and Zoom ID for the public hearing: will be published at least five (5) days in advance in the TAB or may be obtained from the Newton Conservation Commission by calling 617-796-1134.

Public Participation via Virtual Means

In light of the ongoing COVID-19 coronavirus outbreak, Gov. Baker issued an Emergency Order on March 12, 2020, allowing public bodies greater flexibility utilizing technology in the conduct of meetings under the Open Meeting Law. The City of Newton has decided to implement the "remote participation" procedures allowed under Gov. Baker's Emergency Order for all boards, committees, and commissions.

Copies of the Notice of Intent can be requested by email from jsteel@newtonma.gov and crundelli@newtonma.gov. You may also contact the Northeast Regional Office of the Department of Environmental Protection at 978-694-3200 for more information about this application or the Wetlands Protection Act.

**Assessment Administration
City of Newton, MA**

**REQUEST FOR ABUTTERS LIST
AND MAILING LABELS**

Mailing Address
Assessing Department
1000 Commonwealth Ave.
Newton, MA 02459
Email: Assessing@newtonma.gov

Phone Numbers
Main Office: 617-796-1160
Facsimile: 617-796-1179

Purpose: (check one)

- Conservation Commission Filing
- Filing for Victualler's/Restaurant or Liquor License
- Other: _____
(Ordinances, laws, or regulations that require a citizen/organization to send a notice by mail to "parties of interest.")

Name of organization: Metrowest Engineering Inc.

Person filing request: Emily Petro Title: _____

Address: 75 Franklin Street Framingham MA 01703

Telephone no. during day: 508 626 0063 (to notify for pick-up)
x 100

Subject property: 45 Buswell Park

Abutters list requires owner names and addresses of: (check all that apply)

- Abutters to subject property and abutters to abutters
- Abutters within user-specified distance from property line: within 100 feet
- Restaurant/Liquor License: (1) all abutters; (2) all public or private elementary, middle, or secondary schools, churches, synagogues, religious institutions of worship, or hospitals within 500 feet from the proposed licensed premises.
- Abutters along one or more streets (list below):

Mailing labels for abutters (as above): (Charge: \$.50 per label sheet)

- 1 set
- 2 sets

Fees: Staff preparation time if request takes 2 hours or more to complete.

Staff Fee: \$ 23.75 /hour (or portion thereof)

Mailing labels: \$.50 per label sheet

Total: *Calculated upon completion*

Please allow ten (10) business days for completion of this request.

Signature: Emily Petro Date: 10/26/21

[print this list](#)

Abutters List

Date: October 26, 2021

Subject Property Address: 45 BUSWELL PK Newton, MA
Subject Property ID: 72-023-0032-D

Search Distance: 100 Feet

Prop ID: 72-023-0002
Prop Location: 28 HYDE AVE Newton, MA
Owner: RHODES JASON P & ERINN T
Mailing Address:

28 HYDE AVE
NEWTON, MA 02458

Prop ID: 72-023-0014
Prop Location: 31 BUSWELL PK Newton, MA
Owner: PELLETIER JARROD & KRISTEN
Mailing Address:

31 BUSWELL PK
NEWTON, MA 02458

Prop ID: 72-023-0015
Prop Location: 35 BUSWELL PK Newton, MA
Owner: BRODY LESLIE G
Co-Owner: SEEHERMAN AMY MAIZEL
Mailing Address:

35 BUSWELL PK
NEWTON, MA 02458

Prop ID: 72-023-0016
Prop Location: 36 BUSWELL PK Newton, MA
Owner: GOLDMAN MARVIN
Co-Owner: KAISER ELISE S TRS
Mailing Address:

36 BUSWELL PK
NEWTON, MA 02458

Prop ID: 72-023-0032-A
Prop Location: 44 BUSWELL PK Newton, MA
Owner: FARHAT MAHA R
Co-Owner: KAAFARANI HAYTHAM M
Mailing Address:
44 BUSWELL PK
NEWTON, MA 02458

Prop ID: 72-023-0032-B
Prop Location: 50 BUSWELL PK Newton, MA
Owner: FRANKEL ADAM
Co-Owner: GOREN ALIZA FIRESTONE
Mailing Address:
50 BUSWELL PK
NEWTON, MA 02458

Prop ID: 72-023-0032-C
Prop Location: 49 BUSWELL PK Newton, MA
Owner: LANDAU MISIA
Mailing Address:
49 BUSWELL PK
NEWTON, MA 02458

Prop ID: 72-023-0036
Prop Location: 237 PARK ST Newton, MA
Owner: GRAPSKI JASON A
Co-Owner: MARQUEZ SONYA M
Mailing Address:
237 PARK ST
NEWTON, MA 02458

Prop ID: 72-023-0062
Prop Location: 34 HYDE AVE Newton, MA
Owner: MARK PETER B
Co-Owner: GOLDSMITH LYNN R
Mailing Address:
34 HYDE AVE
NEWTON, MA 02458

10/26/21, 12:57 PM

Abutters Report

Prop ID: 72-023-0063

Prop Location: HYDE AVE Newton, MA

Owner: MARK PETER B

Co-Owner: GOLDSMITH LYNN R

Mailing Address:

34 HYDE AVE

NEWTON, MA 02458



- Address Numbers
- Buildings
- Parcels
- Parking Lots
- EOP
- MA Highways
- Interstate
- US Highway
- Numbered Routes
- Streets
- Town Boundary
- Abutting Towns (Opaque)
- Abutting Towns
- Streams
- Surface Water



The data shown on this site are provided for informational and planning purposes only. The Town and its consultants are not responsible for the misuse or misrepresentation of the data.



Printed on 10/26/2021 at 12:53 PM

Affidavit of Service

AFFIDAVIT OF SERVICE

UNDER THE MASSACHUSETTS WETLAND PROTECTION ACT

I, **Emily Petro**, of MetroWest Engineering, Inc., hereby certify the pains and penalties of perjury that on **November 23, 2021**, gave notification to abutters within 100 feet of the proposed project in compliance with the second paragraph of the Massachusetts General Laws, Chapter 131, Section 40 and the DEP Guide to Abutter Notification dated November 23, 2021, in connection with the following matter:

A Notice of Intent application was filed under the Massachusetts Wetlands Protection Act, by **Brittany and Dustin Bennett** with the Newton Conservation Commission on **November 23, 2021** for the property located at **45 Buswell Park, Newton MA.**

The form of the notification and the list of the abutters to whom it was given, and their addresses are attached to this Affidavit of Service.

Signature

Emily Petro

Date

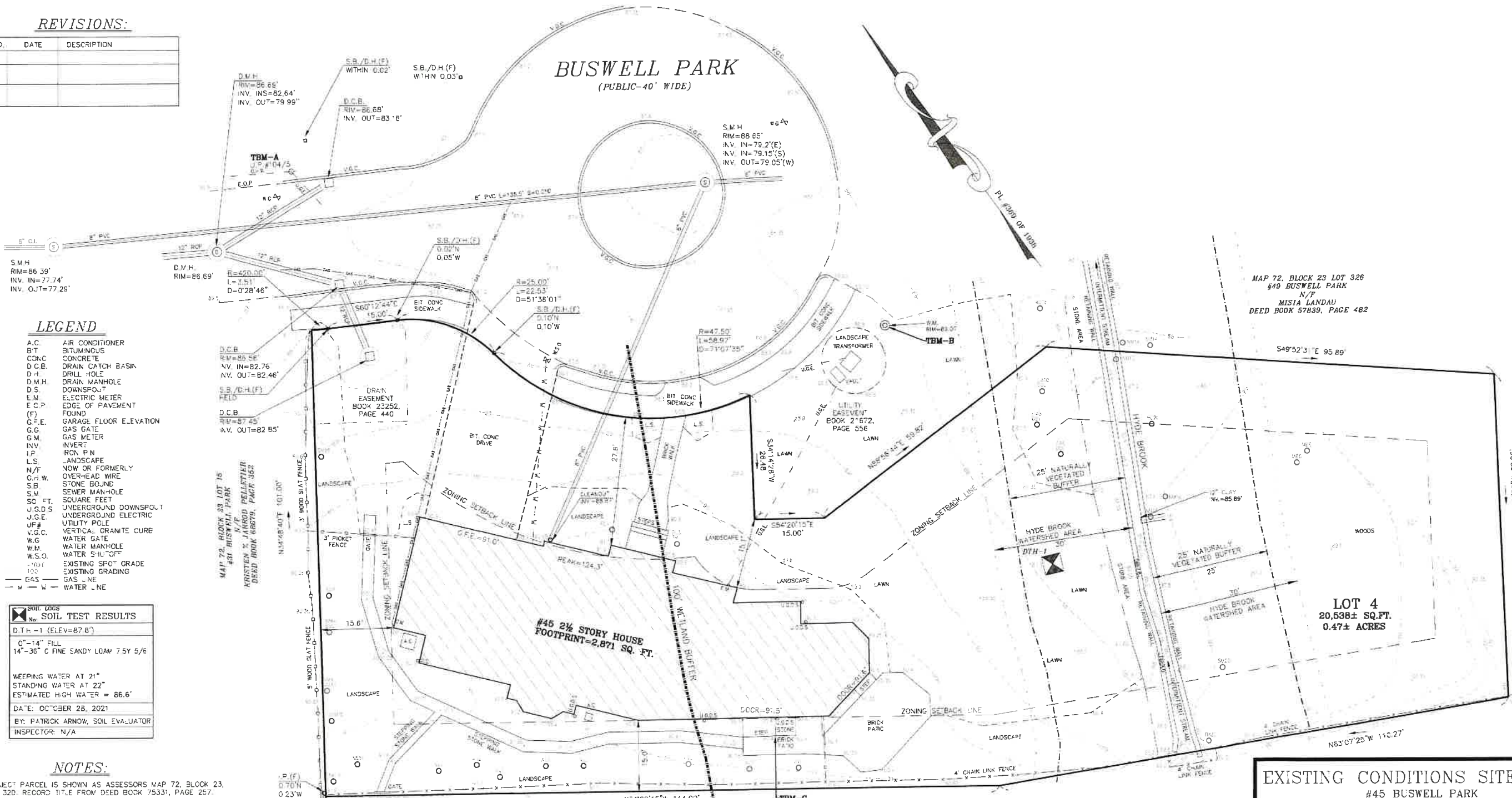
11/23/2021

Copy of Payment

Plans

REVISIONS:

NO.	DATE	DESCRIPTION



LEGEND

- A.C. AIR CONDITIONER
- B.T. BITUMINOUS
- CONC. CONCRETE
- D.C.B. DRAIN CATCH BASIN
- D.H. DRILL HOLE
- D.M.H. DRAIN MANHOLE
- D.S. DOWNSPOUT
- E.M. ELECTRIC METER
- E.O.P. EDGE OF PAVEMENT
- F. FOUND
- G.F.E. GARAGE FLOOR ELEVATION
- G.G. GAS GATE
- G.M. GAS METER
- INV. INVERT
- I.P. IRON P.N.
- L.S. LANDSCAPE
- N/F. NOW OR FORMERLY
- O.H.W. OVER-HEAD WIRE
- S.B. STONE BOUND
- S.M. SEWER MANHOLE
- SQ. FT. SQUARE FEET
- U.D.S. UNDERGROUND DOWNSPOUT
- U.G.E. UNDERGROUND ELECTRIC
- U.P. UTILITY POLE
- V.G.C. VERTICAL GRANITE CURB
- W.G. WATER GATE
- W.M. WATER MANHOLE
- W.S.O. WATER SPLITTING
- EXIST. EXISTING SPOT GRADE
- EXIST. EXISTING GRADING
- GAS GAS LINE
- WATER WATER LINE

SOIL LOGS

SOIL TEST RESULTS

D.T.H. -1 (ELEV=87.8')

C-14" FILL

14"-30" C FINE SANDY LOAM 7.5Y 5/6

WEeping WATER AT 21"

STANDING WATER AT 22"

ESTIMATED HIGH WATER = 86.6'

DATE: OCTOBER 28, 2021

BY: PATRICK ARNOW, SOIL EVALUATOR

INSPECTOR: N/A

NOTES:

- SUBJECT PARCEL IS SHOWN AS ASSESSORS MAP 72, BLOCK 23, LOT 32D. RECORD TITLE FROM DEED BOOK 75331, PAGE 257.
- UTILITY LOCATIONS DEPICTED ON THIS PLAN, BOTH ABOVE- AND BELOW-GROUND, ARE BASED UPON DIRECT FIELD OBSERVATIONS MADE BY METROWEST ENGINEERING, INC. PERSONNEL DURING A FIELD SURVEY. RECORD P, AN LOCATIONS, OR DIGSAFE PAINT-INDICATORS METROWEST ENGINEERING, INC. DOES NOT WARRANT THAT ALL UTILITIES ARE SHOWN OR THAT UTILITIES THAT ARE DEPICTED ARE SHOWN IN THE CORRECT LOCATION, OR WITH THE PROPER WATER AL DESIGNATION. METROWEST ENGINEERING, INC. DOES NOT WARRANT OR PROVIDE AN EXPRESS OR IMPLIED WARRANTY THAT ALL SUBSURFACE IMPROVEMENTS ARE SHOWN OR ARE SHOWN CORRECTLY, INCLUDING, BUT NOT LIMITED TO, UTILITIES, UNDERGROUND VAULTS, UNDERGROUND TANKS OR CHAMBERS, BUNKERS, DUCT BANKS, AND/OR OTHER MAN-MADE IMPROVEMENTS THAT LIE BENEATH THE GROUND SURFACE AT THE TIME OF THE SURVEY.
- CONTRACTOR IS SOLELY RESPONSIBLE FOR ESTABLISHING EXISTING LOCATIONS OF ALL SUB-SURFACE UTILITIES AND MAN-MADE IMPROVEMENTS AND FOR THE REQUIREMENTS TO RE-LOCATE, RE-LOCATE OR REPAIR EXISTING UTILITIES IN THE EVENT OF DAMAGE OCCURRING DURING CONSTRUCTION. MWE IS NOT RESPONSIBLE OR LIABLE FOR DELAYS OR COSTS ASSOCIATED WITH REMOVING/REPLACING/RELOCATING OF EXISTING UTILITIES REGARDLESS OF WHETHER SAID UTILITIES ARE ACCURATELY DEPICTED ON THIS SURVEY.
- THE PROPERTY DESCRIBED ON THIS SURVEY DOES NOT LIE WITHIN A SPECIAL FLOOD HAZARD AREA AS DEFINED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY; THE PROPERTY LIES WITHIN ZONE "X" OF THE FLOOD INSURANCE RATE MAP IDENTIFIED AS MAP NUMBER 250017C0556E, BEARING AN EFFECTIVE DATE OF 06/04/2010.

TREE DESCRIPTION LEGEND

CODE	DESCRIPTION
AV	ARBOVITAE
CA	CRABAPPLE
FC	FALSE CYPRESS
HC	HORSE CHESTNUT
MB	MALBERRY
NM	NORWAY MAPLE
NS	NORWAY SPRUCE
RM	RED MAPLE
SM	SUGAR MAPLE
SYW	SYCAMORE
WS	WHITE SPRUCE
DBL	DOUBLE
TR	TRIPLE
QUAD	QUADRUPLE

CONTRACTOR TO VERIFY ACTUAL LOCATION OF EXISTING UTILITY SERVICES IN THE FIELD PRIOR TO CONSTRUCTION (WATER, ELECTRICAL, ETC.) CALL DIG-SAFE BEFORE YOU DIG 811

BENCHMARKS

ELEVATION SHOWN IS BASED ON CITY OF NEWTON DATUM

T.B.M.	DESCRIPTION	ELEVATION
A	NAIL SET UP ON UTILITY POLE	87.91'
B	"X" CUT ON WATER MANHOLE	88.96'
C	NAIL SET SE CORNER LANDING	90.92'

ZONING:

SINGLE RESIDENCE 2 -SR2

MINIMUM AREA= 5,000 SQUARE FEET

MINIMUM FRONTAGE= 100 FEET

SETBACKS:

FRONT YARD= 30 FEET

SIDE YARD= 15 FEET

REAR YARD= 15 FEET

MAXIMUM HEIGHT= 36 FEET OR 2.5 STORIES

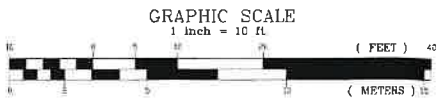
MAXIMUM LOT COVERAGE= 20%

MINIMUM OPEN SPACE= 65%

MAXIMUM BUILD FACTOR= 25



FOR METROWEST ENGINEERING, INC. DATE
 ROBERT A. GEMMA, P.L.S. # 37046
 P.E. # 31967 (CIVIL)



EXISTING CONDITIONS SITE PLAN
 #45 BUSWELL PARK
 IN
 NEWTON, MASS
 (MIDDLESEX COUNTY)

PREPARED FOR:
 BRITTANY J & DUSTIN K BENNETT
 45 BUSWELL PARK
 NEWTON, MA 02458

PROPERTY OF:
 BRITTANY J & DUSTIN K BENNETT
 45 BUSWELL PARK
 NEWTON, MA 02458

ENGINEERS & SURVEYORS
MWE METROWEST ENGINEERING, INC.
 75 FRANKLIN STREET
 FRAMINGHAM, MA 01702
 TELE: (508) 626-0063
 EMAIL: INFO@MWEENGINEERING.COM

SHEET C1 DATE: NOVEMBER 18, 2021

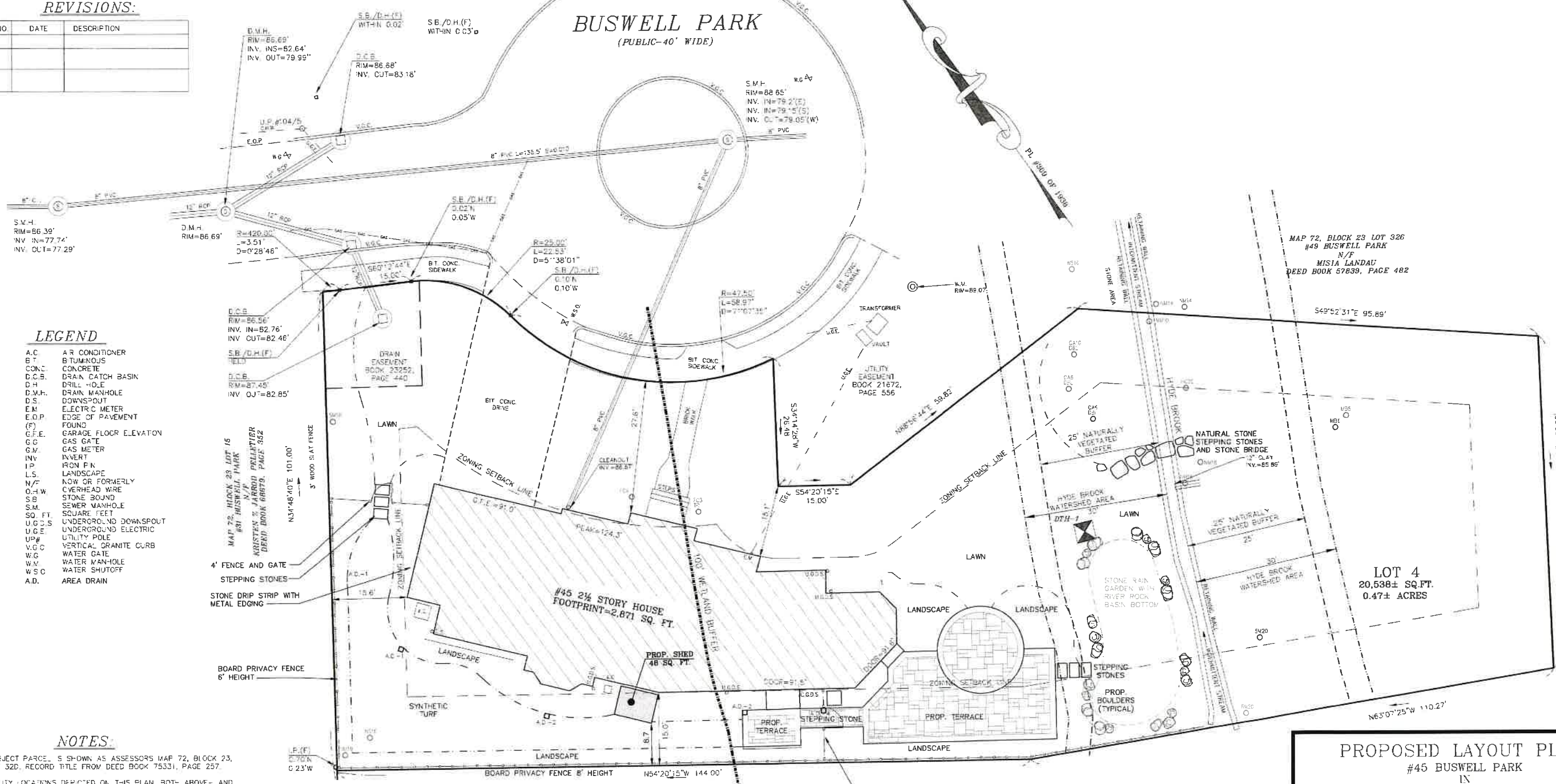
CALC'D BY: PHA FIELD BK: 718 CAD FILE: BENNETT_SITE PLAN 3.dwg

DRAFTER: PHA/JTS PROJECT: NWT_BUS DWG FILE: SPL11821.dwg

REVISIONS:

NO	DATE	DESCRIPTION

BUSWELL PARK
(PUBLIC-40' WIDE)



LEGEND

- A.C. AIR CONDITIONER
- B.T. BITUMINOUS
- CON. CONCRETE
- D.C.B. DRAIN CATCH BASIN
- D.H. DRILL HOLE
- D.M.H. DRAIN MANHOLE
- D.S. DOWNSPOUT
- E.M. ELECTRIC METER
- E.O.P. EDGE OF PAVEMENT
- F. FOUND
- G.F.E. GARAGE FLOOR ELEVATION
- G.G. GAS GATE
- G.M. GAS METER
- INV. INVERT
- I.P. IRON P.N.
- L.S. LANDSCAPE
- N.F. NOW OR FORMERLY
- O.H.W. OVERHEAD WIRE
- S.B. STONE BOUND
- S.M. SEWER MANHOLE
- SQ. FT. SQUARE FEET
- U.G.C.S. UNDERGROUND DOWNSPOUT
- U.G.E. UNDERGROUND ELECTRIC
- U.P. UTILITY POLE
- V.G.C. VERTICAL GRANITE CURB
- W.G. WATER GATE
- W.M. WATER MANHOLE
- W.S.C. WATER SHUTOFF
- A.D. AREA DRAIN

NOTES

- SUBJECT PARCELS SHOWN AS ASSESSORS MAP 72, BLOCK 23, LOT 326, RECORD TITLE FROM DEED BOOK 75331, PAGE 257.
- UTILITY LOCATIONS DEPICTED ON THIS PLAN, BOTH ABOVE- AND BELOW-GROUND, ARE BASED UPON DIRECT FIELD OBSERVATIONS MADE BY METROWEST ENGINEERING, INC. PERSONNEL DURING A FIELD SURVEY. RECORD PLAN LOCATIONS, OR DISCREPANCY INDICATORS METROWEST ENGINEERING, INC. DOES NOT WARRANT THAT ALL UTILITIES ARE SHOWN OR THAT UTILITIES THAT ARE DEPICTED ARE SHOWN IN THE CORRECT LOCATION, OR WITH THE PROPER MATERIAL DESIGNATION. METROWEST ENGINEERING, INC. DOES NOT WARRANT OR PROVIDE AN EXPRESS OR IMPLIED WARRANTY THAT ALL SUBSURFACE IMPROVEMENTS ARE SHOWN OR ARE SHOWN CORRECTLY, INCLUDING BUT NOT LIMITED TO, UTILITIES, UNDERGROUND VAULTS, UNDERGROUND TANKS OR CHAMBERS, BUNKERS, DUCT BANKS, AND/OR OTHER MAN-MADE IMPROVEMENTS THAT LIE BENEATH THE GROUND SURFACE AT THE TIME OF THE SURVEY.
- CONTRACTOR IS SOLELY RESPONSIBLE FOR ESTABLISHING EXISTING LOCATIONS OF ALL SUB-SURFACE UTILITIES AND MAN-MADE IMPROVEMENTS AND FOR THE REQUIREMENTS TO REPLACE, RELOCATE OR REPAIR EXISTING UTILITIES IN THE EVENT OF DAMAGE OCCURRING DURING CONSTRUCTION. MWE IS NOT RESPONSIBLE OR LIABLE FOR DELAYS OR COSTS ASSOCIATED WITH REMOVING/REPAIRING/RELOCATING OF EXISTING UTILITIES REGARDLESS OF WHETHER SAID UTILITIES ARE ACCURATELY DEPICTED ON THIS SURVEY.
- THE PROPERTY DESCRIBED ON THIS SURVEY DOES NOT LIE WITHIN A SPECIAL FLOOD HAZARD AREA AS DEFINED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY; THE PROPERTY LIES WITHIN ZONE "X" OF THE FLOOD INSURANCE RATE MAP IDENTIFIED AS MAP NUMBER 250017C0556E, BEARING AN EFFECTIVE DATE OF 06/04/2010.

TREE DESCRIPTION LEGEND

- | CODE | DESCRIPTION |
|------|----------------|
| AV | ARBOVITAE |
| CA | CRABAPPLE |
| FC | FALSE CYPRESS |
| HC | HORSE CHESTNUT |
| MB | MULBERRY |
| NM | NORWAY MAPLE |
| NS | NORWAY SPRUCE |
| RM | RED MAPLE |
| SM | SUGAR MAPLE |
| SYM | SYCAMORE |
| WS | WHITE SPRUCE |
| DBL | DOUBLE |
| TRJ | TRIPLE |
| QUAD | QUADRUPLE |

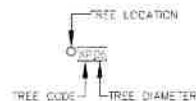
IMPERVIOUS AREA

EXISTING HOUSE COVERAGE = 2,871 SQUARE FEET
 EXISTING DRIVEWAY = 730 SQUARE FEET
 EXISTING WALKS = 904 SQUARE FEET
 TOTAL EXISTING IMPERVIOUS AREA = 4,505 SQUARE FEET

EXISTING HOUSE COVERAGE = 2,871 SQUARE FEET
 EXISTING DRIVEWAY = 730 SQUARE FEET
 PROPOSED WALKS = 1,019 SQUARE FEET
 PROPOSED SYNTHETIC TURF = 1,145 SQUARE FEET
 TOTAL PROPOSED IMPERVIOUS AREA = 5,765 SQUARE FEET

ZONING

SINGLE RESIDENCE 2 - SR2
 MINIMUM AREA = 15,000 SQUARE FEET
 MINIMUM FRONTAGE = 100 FEET
 SETBACKS
 FRONT YARD = 30 FEET
 SIDE YARD = 15 FEET
 REAR YARD = 15 FEET
 MAXIMUM HEIGHT = 36 FEET OR 2.5 STORIES
 MAXIMUM LOT COVERAGE = 20%
 MINIMUM OPEN SPACE = 65%
 MAXIMUM BUILD FACTOR = 25



PROPOSED LAYOUT PLAN
 #45 BUSWELL PARK
 IN
 NEWTON, MASS
 (MIDDLESEX COUNTY)

PREPARED FOR
BRITTANY J. & DUSTIN K. BENNETT
 45 BUSWELL PARK
 NEWTON, MA 02458

PROPERTY OF:
BRITTANY J. & DUSTIN K. BENNETT
 45 BUSWELL PARK
 NEWTON, MA 02458

ENGINEERS & SURVEYORS:
MWE METROWEST ENGINEERING, INC.
 75 FRANKLIN STREET
 FRAMINGHAM, MA 01702
 TELE: (508)626-0063
 EMAIL: INFO@MWEENGINEERING.COM

SHEET C2 DATE: NOVEMBER 18, 2021
 CALC'D BY: RAG FIELD BK: 718 CAD FILE: BENNETT_SITE PLAN 8.dwg
 DRAFTER: JTS PROJECT: NWT_BUS DWG FILE: SP111821.dwg



Robert A. Gemma
 FOR METROWEST ENGINEERING, INC. DATE
 ROBERT A. GEMMA, P.L.S. # 37046
 P.E. # 31967 (CIVIL)



MAP 72, BLOCK 23 LOT 326
 #49 BUSWELL PARK
 N/F
 MISIA LANDAU
 DEED BOOK 57839, PAGE 482

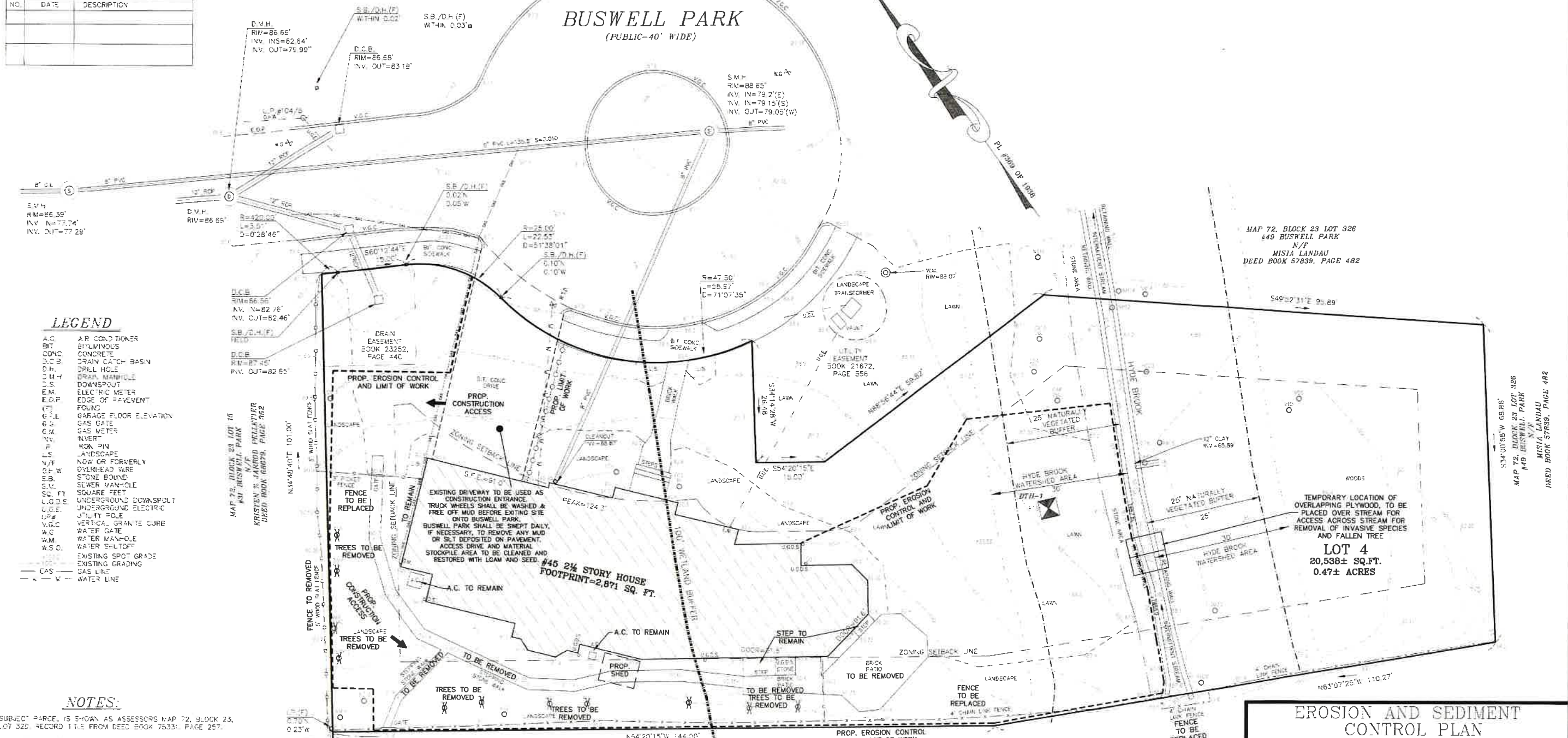
MAP 72, BLOCK 23 LOT 326
 #49 BUSWELL PARK
 N/F
 MISIA LANDAU
 DEED BOOK 57839, PAGE 482

LOT 4
 20,538± SQ.FT.
 0.47± ACRES

REVISIONS:

NO.	DATE	DESCRIPTION

BUSWELL PARK
(PUBLIC-40' WIDE)



MAP 72, BLOCK 23 LOT 326
#49 BUSWELL PARK
N/F
MISIA LANDAU
DEED BOOK 57039, PAGE 482

MAP 72, BLOCK 23 LOT 326
#49 BUSWELL PARK
N/F
MISIA LANDAU
DEED BOOK 57039, PAGE 482

LEGEND

- A.C. AIR CONDITIONER
- BIT BITUMINOUS
- CONC CONCRETE
- D.C.B. DRAIN CATCH-BASIN
- D.H. DRILL HOLE
- D.M.H. DRAIN MAINHOLE
- D.S. DOWNSPOUT
- E.M. ELECTRIC METER
- E.O.P. EDGE OF PAVEMENT
- F.F. FLOOR
- G.F.E. GARAGE FLOOR ELEVATION
- G.G. GAS GATE
- G.M. GAS METER
- N.V. INVERT
- R.O. R.O. PIN
- L.S. LANDSCAPE
- N.O.P. NOW OR FORMERLY
- O.H.W. OVERHEAD WIRE
- S.B. STONE BOUND
- S.M. SEWER MANHOLE
- S.F. SQUARE FEET
- U.G.D.S. UNDERGROUND DOWNSPOUT
- U.E. UNDERGROUND ELECTRIC
- U.P. UTILITY POLE
- V.C.C. VERTICAL CURVE CURVE
- W.G. WATER GATE
- W.M. WATER MANHOLE
- W.S.O. WATER SHUTOFF
- EXISTING SPOT GRADE
- EXISTING GRADING
- CAS GAS LINE
- W WATER LINE

NOTES:

- SUBJECT PARCELS ARE SHOWN AS ASSESSORS MAP 72, BLOCK 23, LOT 326, RECORD TITLE FROM DEED BOOK 75331, PAGE 257.
- UTILITY LOCATIONS DEPICTED ON THIS PLAN, BOTH ABOVE- AND BELOW-GROUND, ARE BASED UPON DIRECT FIELD OBSERVATIONS MADE BY METROWEST ENGINEERING, INC. PERSONNEL DURING A FIELD SURVEY, RECORD PLAN LOCATIONS, OR DISCREPANCY INDICATORS. METROWEST ENGINEERING, INC. DOES NOT WARRANT THAT ALL UTILITIES ARE SHOWN OR THAT UTILITIES THAT ARE DEPICTED ARE SHOWN IN THE CORRECT LOCATION, OR WITH THE PROPER VERTICAL DESIGNATION. METROWEST ENGINEERING, INC. DOES NOT WARRANT OR PROVIDE AN EXPRESS OR IMPLIED WARRANTY THAT ALL SUBSURFACE IMPROVEMENTS ARE SHOWN OR ARE SHOWN CORRECTLY, INCLUDING, BUT NOT LIMITED TO, UTILITIES, UNDERGROUND VALVES, UNDERGROUND TANKS OF ALL TYPES, EJECTORS, DUCT BANKS, AND/OR OTHER MAN-MADE IMPROVEMENTS THAT LIE BENEATH THE GROUND SURFACE AT THE TIME OF THE SURVEY.
- CONTRACTOR IS SOLELY RESPONSIBLE FOR ESTABLISHING EXISTING LOCATIONS OF ALL SUB-SURFACE UTILITIES AND MAN-MADE IMPROVEMENTS AND FOR THE REQUIREMENTS TO REPLACE, RELOCATE OR REPAIR EXISTING UTILITIES IN THE EVENT OF DAMAGE OCCURRING DURING CONSTRUCTION. MWE IS NOT RESPONSIBLE OR LIABLE FOR DELAYS OR COSTS ASSOCIATED WITH REMOVING/REPLACING/RELOCATING OF EXISTING UTILITIES REGARDLESS OF WHETHER SAID UTILITIES ARE ACCURATELY DEPICTED ON THIS SURVEY.
- THE PROPERTY DESCRIBED ON THIS SURVEY DOES NOT LIE WITHIN A SPECIAL FLOOD HAZARD AREA AS DEFINED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY. THE PROPERTY LIES WITHIN ZONE "X" OF THE FLOOD INSURANCE RATE MAP IDENTIFIED AS MAP NUMBER 2500700555E, BEARING AN EFFECTIVE DATE OF 06/04/2010.

BENCHMARKS

ELEVATION SHOWN IS BASED ON CITY OF NEWTON DATUM

ITEM	DESCRIPTION	ELEVATION
A	NAIL SET 1" UP ON UTILITY POLE	87.91'
B	"X" OUT ON WATER MAINHOLE	88.96'
C	NAIL SET SE CORNER LANDING	90.92'

TREE DESCRIPTION LEGEND

- CCSE CROOKED CEDAR
 - AV ALBANY
 - CA CYPRESS
 - TC FALSE CYPRESS
 - HC HORSE CHESTNUT
 - ME MULBERRY
 - NV NORWAY MAPLE
 - NS NORWAY SPRUCE
 - RM RED MAPLE
 - SV SUGAR MAPLE
 - BYV BAY VERNON
 - WS WHITE SPRUCE
 - DBL DOUBLE
 - TR TRIPLE
 - QUAD QUADRUPLE
- TREE LOCATION
↑ TREE DIAMETER

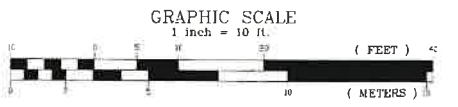
ZONING:

SINGLE RESIDENCE 2 -SR2
MINIMUM AREA= 15,000 SQUARE FEET
MINIMUM FRONTAGE= 100 FEET
SETBACKS:
FRONT YARD= 30 FEET
SIDE YARD= 15 FEET
REAR YARD= 15 FEET
MAXIMUM HEIGHT= 36 FEET OR 2.5 STORES
MAXIMUM LOT COVERAGE= 20%
MINIMUM OPEN SPACE= 65%
MAXIMUM BUILD FACTOR= 25

MAP 72, BLOCK 23 LOT 63
#34 HYDE AVENUE
N/F
PETER B. MARK & LYNN R. GOLDSMITH
DEED BOOK 59220, PAGE 54



Robert A. Gemma
FOR METROWEST ENGINEERING, INC. DATE
ROBERT A. GEMMA, P.L.S. # 37046
P.E. # 31967 (CIVIL)



EROSION AND SEDIMENT CONTROL PLAN
#45 BUSWELL PARK
IN
NEWTON, MASS
(MIDDLESEX COUNTY)

PREPARED FOR:	BRITTANY J & DUSTIN K. BENNETT 45 BUSWELL PARK NEWTON, MA 02458
PROPERTY OF:	BRITTANY J & DUSTIN K. BENNETT 45 BUSWELL PARK NEWTON, MA 02458
ENGINEERS & SURVEYORS:	MWE METROWEST ENGINEERING, INC. 75 FRANKLIN STREET FRAMINGHAM, MA 01702 TELE: (508) 626-0063 EMAIL: INFO@MWEENGINEERING.COM
SHEET C3	DATE: NOVEMBER 18, 2021
CALC'D BY: RAG	FIELD BK: 718
DRAFTER: JTS	PROJECT: NWT_BUS
	CAD FILE: BENNETT_SITE PLAN 3.dwg
	DWG FILE: SP111821.dwg

REVISIONS:

NO	DATE	DESCRIPTION

LEGEND

- A/C AIR CONDITIONER
- BT BURIED TIE
- CONC CONCRETE
- D.C.B. DRAIN CATCH BASIN
- D.H. DRILL HOLE
- D.V.H. DRAIN VANHOLE
- E.V. ELECTRIC VETER
- E.O.P. EDGE OF PAVEMENT
- F.V. FOUND
- S.F.E. GARAGE FLOOR ELEVATION
- G.S. GAS DATE
- G.M. GAS METER
- I.V. INVERT
- I.S. IRON
- L.S. LANDSCAPE
- N.O.T. NOW OR FORMERLY
- O.W. OVERHEAD WIRE
- S.B. STONE BOUND
- S.M. SEWER MANHOLE
- S.O.F. SOLAR FEET
- U.G.D.S. UNDERGROUND DOWNSPOUT
- U.G.E. UNDERGROUND ELECTRIC
- U.P. UTILITY POLE
- V.C. VERTICAL CURVE
- W.G. WATER GATE
- W.M. WATER MANHOLE
- W.S.O. WATER SHUT OFF
- EXIST. EXISTING
- GRS. GAS LINE
- W. WATER LINE
- A.D. AREA DRAIN

SOIL LOGS

SOIL TEST RESULTS

D.R. #1 (ELEV=87.8')

6" - 14" FILL

14" - 36" 0 FINE SANDY LOAM 75% S/S

KEEPING WATER AT 21" STANDING WATER AT 22" ESTIMATED HIGH WATER = 80.6'

DATE: OCTOBER 28, 2021

BY: PATRICK ARON, SOIL EVALUATOR

INSPECTOR: N/A

NOTES:

- SUBJECT PARCEL IS SHOWN AS ASSASSORS MAP 72, BLOCK 23, LOT 32D, RECORD FILE FROM DEED BOOK 73331, PAGE 257.
- UTILITY LOCATIONS DEPICTED ON THIS PLAN, BOTH ABOVE- AND BELOW-GROUND, ARE BASED UPON 2 1/2" FIELD OBSERVATIONS MADE BY METROWEST ENGINEERING, INC. PERSONS DURING A FIELD SURVEY, RECORD PLAN LOCATIONS, OR DISSEMINATED INDICATORS. METROWEST ENGINEERING, INC. DOES NOT WARRANT THAT ALL UTILITIES ARE SHOWN OR THAT UTILITIES THAT ARE DEPICTED ARE SHOWN IN THE CORRECT LOCATION, OR WITH THE PROPER WATERAL DESIGNATION. METROWEST ENGINEERING, INC. DOES NOT WARRANT OR PROVIDE AN EXPRESS OR IMPLIED WARRANTY THAT ALL SUBSURFACE IMPROVEMENTS ARE SHOWN OR ARE SHOWN CORRECTLY, INCLUDING BUT NOT LIMITED TO, UTILITIES, UNDERGROUND WALLS, UNDERGROUND TANKS OR CHAMBERS, BUNKERS, BLOT BANKS, AND/OR OTHER MAN-MADE IMPROVEMENTS THAT LIE BENEATH THE GROUND SURFACE AT THE TIME OF THE SURVEY.
- CONTRACTOR IS SOLELY RESPONSIBLE FOR ESTABLISHING EXISTING LOCATIONS OF ALL SUB-SURFACE UTILITIES AND MAN-MADE IMPROVEMENTS, AND FOR THE REQUIREMENTS TO REMOVE, RELOCATE OR REPAIR EXISTING UTILITIES IN THE EVENT OF DAMAGE OCCURRING DURING CONSTRUCTION. MWE IS NOT RESPONSIBLE OR LIABLE FOR DELAYS OR COSTS ASSOCIATED WITH REMOVING/REPLACING/RELOCATING OF EXISTING UTILITIES REGARDLESS OF WHETHER SAID UTILITIES ARE ACCURATELY DEPICTED ON THIS SURVEY.
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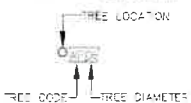
BENCHMARKS

ELEVATION SHOWN IS BASED ON CITY OF NEWTON DATUM

TERM	DESCRIPTION	ELEVATION
A	NAIL SET 1' UP ON UTILITY POLE	87.8'
B	"X" CUT ON WATER VANHOLE	88.96'
C	NAIL SET SE CORNER, LANDING	90.22'

TREE DESCRIPTION LEGEND

- | CODE | DESCRIPTION |
|------|----------------|
| AV | ARBOREVITAE |
| CA | CORNUS |
| FC | FALSE CYPRESS |
| HC | HORSE CHESTNUT |
| ML | MILBERRY |
| NM | NORWAY MAPLE |
| NS | NORWAY SPRUCE |
| RM | RED MAPLE |
| SM | SUGAR MAPLE |
| SY | SYCAMORE |
| VS | WHITE SPINICE |
| DBL | DOUBLE |
| TR | TRIPLE |
| QUAD | QUADRUPLE |



ZONING

SINGLE RESIDENCE 2 -SR2

MINIMUM AREA = 75,000 SQUARE FEET

MINIMUM FRONTAGE = 100 FEET

SETBACKS:

FRONT YARD = 30 FEET

SIDE YARD = 15 FEET

REAR YARD = 15 FEET

MAXIMUM HEIGHT = 36 FEET OR 2 1/2 STORIES

MINIMUM LOT COVERAGE = 20%

MINIMUM OPEN SPACE = 85%

MAXIMUM BUILD FACTOR = 25%

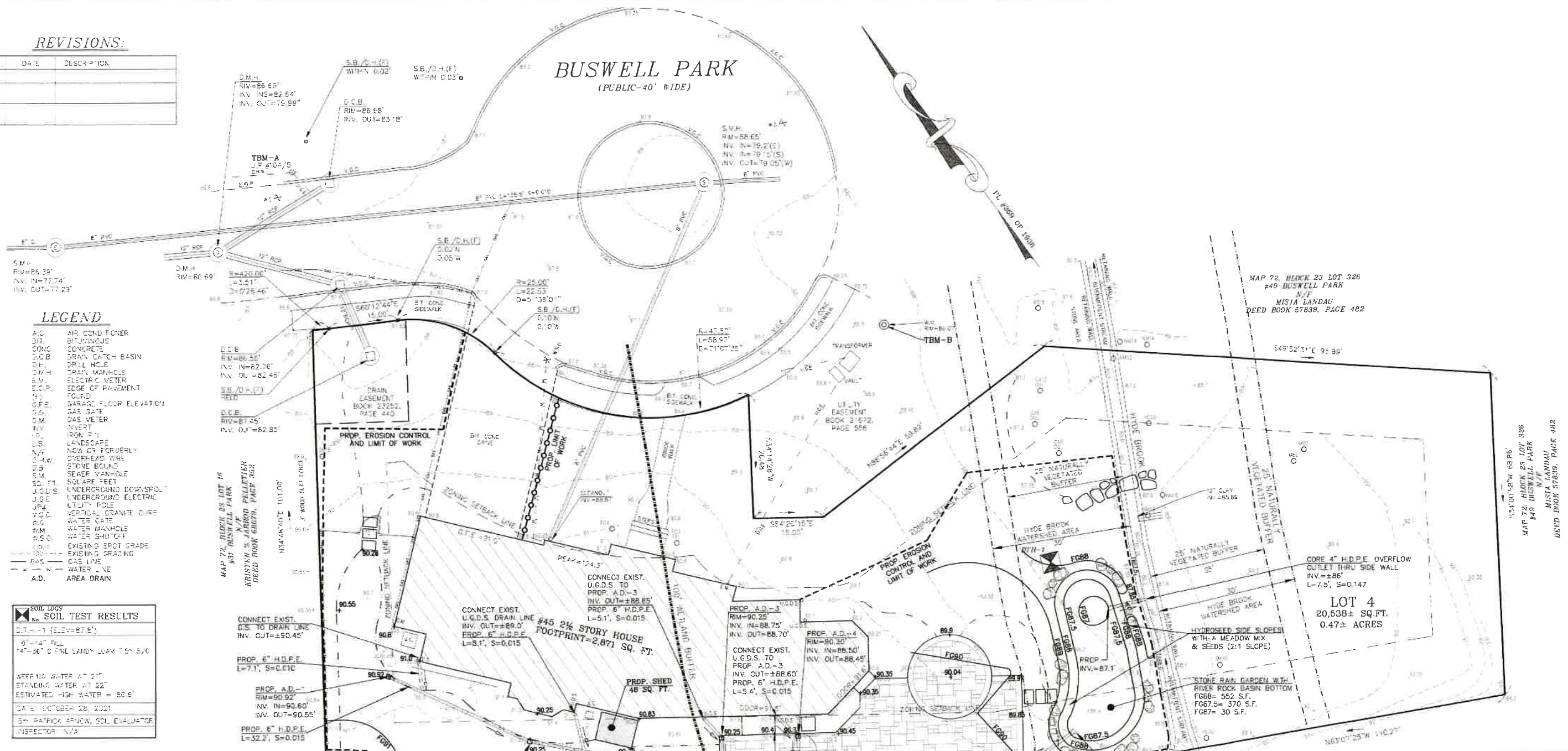
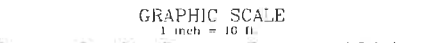
APPROXIMATE EARTHWORK CALCULATIONS:

RAIN GARDEN:

TOTAL CUT = 15 C.Y.

TOTAL FILL = 15 C.Y.

NET EARTHWORK = 0 C.Y. (0')



PROPOSED SITE PLAN
#45 BUSWELL PARK
IN
NEWTON, MASS
(MIDDLESEX COUNTY)

PREPARED FOR:
BRITTANY J. & DUSTIN K. BENNETT
45 BUSWELL PARK
NEWTON, MA 02456

PROPERTY OF:
BRITTANY J. & DUSTIN K. BENNETT
45 BUSWELL PARK
NEWTON, MA 02456

ENGINEERS & SURVEYORS:
MWE METROWEST ENGINEERING, INC.
75 FRANKLIN STREET
FRAMINGHAM, MA 01702
TELE: (508)626-0063
EMAIL: INFO@MWEENGINEERING.COM

SHEET C4

DATE: NOVEMBER 18, 2021

CALCD BY: RAG FIELD BK 718 CAD FILE BENNETT_SITE PLAN 3.dwg

DRAFTER: JTS PROJECT NWT_BUS DWG FILE SP111821.dwg

REQUIRED INSPECTIONS

1. THE SWPA WILL INSPECT THE PROJECT SITE AT THE FOLLOWING STAGES, AT A MINIMUM:
 - a) INITIAL SITE INSPECTION OF EROSION AND SEDIMENTATION CONTROLS PRIOR TO ANY LAND DISTURBANCE TO ASSESS OVERALL EFFECTIVENESS AND FUNCTIONING TO PROTECT RESOURCES
 - b) STORMWATER MANAGEMENT SYSTEM EXCAVATION INSPECTION: AN INSPECTION WILL BE MADE OF THE STORMWATER MANAGEMENT SYSTEM BEFORE ANY STONE, FILL, LOAM, OR COMPONENTS ARE INSTALLED TO ENSURE DEPTH TO GROUND WATER AND PRESENCE OF APPROVED SOIL TYPE
 - c) STORMWATER MANAGEMENT SYSTEM INSPECTION: AN INSPECTION WILL BE MADE OF THE COMPLETED STORMWATER MANAGEMENT SYSTEM PRIOR TO BACKFILLING OF ANY UNDERGROUND DRAINAGE OR STORMWATER CONVEYANCE STRUCTURES
 - d) FINAL INSPECTION
 - 1) AFTER STORMWATER MANAGEMENT SYSTEM HAS BEEN CONSTRUCTED, ALL APPLICANTS ARE REQUIRED TO SUBMIT ACTUAL "AS-BUILT" PLANS FOR ALL STORMWATER MANAGEMENT FACILITIES OR PRACTICES AFTER FINAL CONSTRUCTION IS COMPLETED. AS-BUILT PLANS MUST BE SUBMITTED BOTH IN HARD COPY & ELECTRONICALLY AS EITHER AUTOCAD DRAWINGS OR PDF DOCUMENTS.
 - 2) THE SWPA WILL INSPECT THE SYSTEM TO CONFIRM ITS "AS-BUILT" FEATURES IF THE INSPECTOR FINDS THE SYSTEM TO BE ADEQUATE HE/SHE SHALL SO REPORT TO THE SWPA WHICH WILL ISSUE A CERTIFICATE OF COMPLETION
 - 3) THE SWPA MUST BE NOTIFIED A MINIMUM OF THREE (3) BUSINESS DAY NOTICE FOR ALL INSPECTION REQUESTS

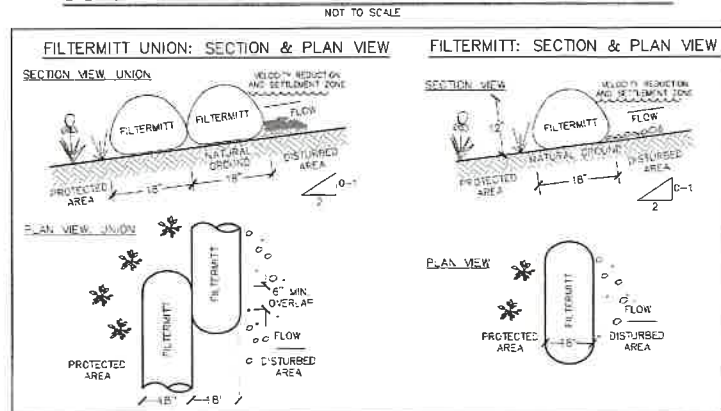
PROTECTION OF STORMWATER MANAGEMENT AREAS DURING CONSTRUCTION:

- CONTRACTOR SHALL EXERCISE CARE TO PROTECT THE SURFACES BENEATH AND ADJACENT TO THE PROPOSED INFILTRATION SYSTEM FROM DEGRADATION BY SURROUNDING CONSTRUCTION ACTIVITIES, INCLUDING:
- A. PREVENTION OF CONTAMINATION OF EXPOSED SUBGRADE BY CONSTRUCTION SEDIMENT
 - B. PREVENTION OF EXCESSIVE COMPACTION BY CONSTRUCTION VEHICLES
 - C. PREVENTION OF DISCHARGE OF WATER FROM DEWATERING ACTIVITIES INTO THE PROPOSED INFILTRATION SYSTEM
 - D. PREVENTION OF DISCHARGE OF STORMWATER INTO THESE FACILITIES UNTIL THE CONTRIBUTING AREAS ARE STABILIZED UNLESS SPECIFIC MEASURES ARE PROVIDED FOR PROTECTING AND RESTORING THE INFILTRATION SURFACE

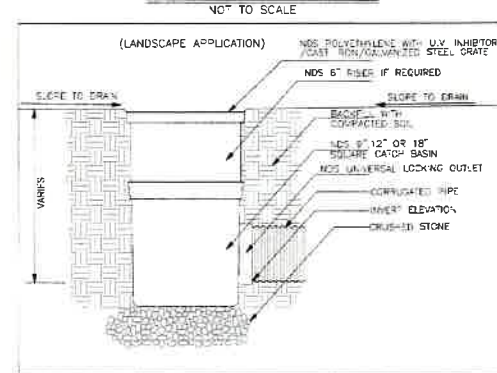
EROSION CONTROL NOTES:

- 1) CONTRACTOR SHALL MODIFY SEDIMENTATION CONTROLS AS NECESSARY DURING CONSTRUCTION.
- 2) CONTRACTOR SHALL INSPECT AND CLEAN ALL SILTATION CONTROL MEASURES ON A WEEKLY BASIS AND AFTER ALL STORMS WITH A PRECIPITATION AMOUNT IN EXCESS OF 1". CONTRACTOR SHALL IMMEDIATELY REPAIR ANY DEFICIENCIES FOUND ON SILTATION CONTROL MEASURES.
- 3) CONTRACTOR SHALL MAINTAIN AN INVENTORY OF EMERGENCY SUPPLIES ON SITE IN A PROTECTED LOCATION INCLUDING, BUT NOT LIMITED TO FILTER MITS, SILT FENCE, WASHED STONE, PVC PIPE, MULCH, AND SEED.
- 4) ALL DISTURBED AREAS SHALL BE PROPERLY STABILIZED BEFORE OR THROUGH THE WINTER TO ELIMINATE DESTABILIZATION OR SILTATION DURING THE SPRING THAW.
- 5) ANY RELEASE OF WATER FROM TEMPORARY SILTATION PONDS SHALL BE FREE OF SILT AND SEDIMENT AND SHALL MEET WATER QUALITY STANDARDS FOR CLASS B WATER IN THE COMMONWEALTH OF MASSACHUSETTS.
- 6) IF GROUNDWATER DEWATERING IS REQUIRED, CONTRACTOR SHALL IMPLEMENT A FILTERING SYSTEM FOR PUMPED GROUNDWATER TO REMOVE SILT AND SEDIMENT. THE DIRECT DISCHARGE OF ANY DEWATERING OPERATION INTO A WETLAND IS PROHIBITED.
- 7) CONTRACTOR SHALL REMOVE AND PROPERLY DISPOSE OF ALL SEDIMENTS WHEN THEY HAVE ACCUMULATED TO A HEIGHT APPROXIMATELY EQUAL TO ONE HALF OF THE HEIGHT OF THE CORRESPONDING EROSION AND SEDIMENTATION CONTROL MEASURE.
- 8) CONTRACTOR SHALL KEEP COPIES OF THE EROSION CONTROL PLAN AND INSPECTION REPORTS SO THEY ARE ACCESSIBLE AT ALL TIMES.
- 9) CONTRACTOR TO PROTECT ALL DRAINAGE INLETS FROM SILT AND SEDIMENT UNTIL THEIR TRIBUTARY AREAS ARE FULLY STABILIZED.
- 10) CONTRACTOR TO SWEEP STREET IN FRONT OF WORK AREA BI-WEEKLY OR AS NEEDED TO PREVENT ACCUMULATION OF SILT AND SEDIMENT ONTO BUSWELL PARK.
- 11) ALL NEWLY GRADED AREAS AND DISTURBED AREAS SHALL BE STABILIZED WITH LOAM AND SEED, OR OTHER VEGETATION OR GROUND COVER AS SOON AS CONSTRUCTION OR GRADING IN THAT AREA IS COMPLETE. AREAS SHALL BE COVERED WITH LUTE NETTING OR HAY TO PROVIDE STABILIZATION IN WINTER MONTHS.

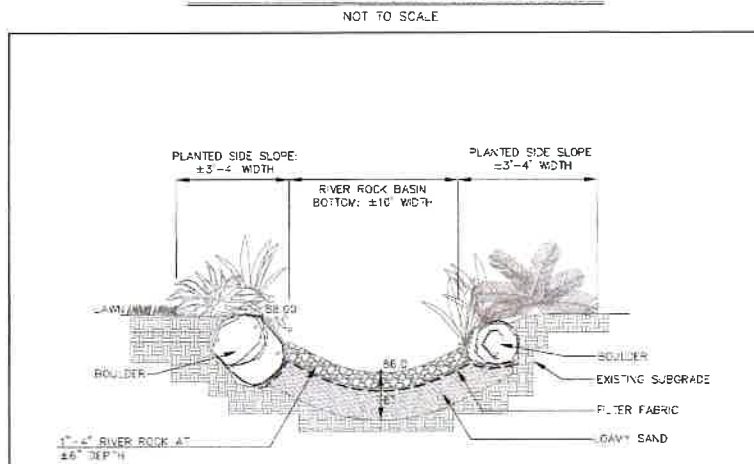
FILTER MITT EROSION CONTROL BARRIER



NDS AREA DRAIN



STONE RAIN GARDEN WITH RIVER ROCK BASIN BOTTOM DETAIL



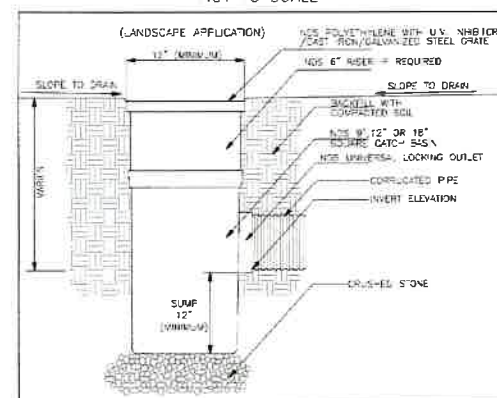
PLANT LIST FOR RAIN GARDEN

PLANTS SHOULD BE PLACED 2-4 FEET SPACING ON CENTER IN A STAGGERED ORIENTATION. BANKS SHALL BE HYDRO-SEEDED WITH A CREEPING RED FESCUE SEED BEND. ANY UNSUITABLE MATERIAL BELOW THE RAIN GARDEN BOTTOMS SHALL BE REMOVED, INCLUDING THE "A" AND "B" LAYERS.

RAIN GARDEN PLANTINGS

- CAREX ALBICANS
- CAREX CANESCENS
- CAREX STRICTA
- OSTRICH FERN

NDS JUNCTION BOX WITH SUMP



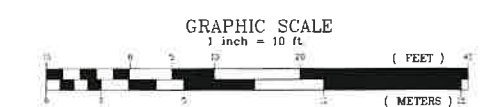
REVISIONS:

NO	DATE	DESCRIPTION



Robert A. Gemma 11/18/24

FOR METROWEST ENGINEERING, INC. DATE
ROBERT A. GEMMA, P.L.S. # 37046
P.E. # 31967 (CIVIL)



PROPOSED DETAIL PLAN
#45 BUSWELL PARK
IN
NEWTON, MASS
(MIDDLESEX COUNTY)

PREPARED FOR:
BRITTANY J & DUSTIN K. BENNETT
45 BUSWELL PARK
NEWTON, MA 02458

PROPERTY OF:
BRITTANY J & DUSTIN K. BENNETT
45 BUSWELL PARK
NEWTON, MA 02458

ENGINEERS & SURVEYORS:
MWE METROWEST ENGINEERING, INC.
75 FRANKLIN STREET
FRAMINGHAM, MA 01702
TELE: (508) 626-0063
EMAIL: INFO@MWEENGINEERING.COM

SHEET C5 DATE: NOVEMBER 18, 2021
CALC'D BY: RAG FIELD BK: 71B CAD FILE: BENNETT_SITE PLAN 3.dwg
DRAFTER: JTS PROJECT: NWT_BUS DWG FILE: SP11821.dwg

