



DESIGN SERVICES AGREEMENT

Client Name: Jessica Dowling
Address: 22 Milo St, Newton MA 02465
Date: 05/06/2021

Rebel Builders will provide design services for the Client's proposed remodel.

1. Project Scope:

- Partially raise the height of Attic. New framing and new windows.
- Create attic conversion shell for future Main suite.
- Reframe stairs to Attic to meet code requirements.
- Replace remaining roof.

2. Budget Goal¹: \$143,880

3. Design fee²: \$14,388

See deliverables attached. ³

¹The budget is a projection of the costs to renovate your home. This budget estimates a 10% range due to the need of further site analysis. When construction drawings and selections are being completed we will acquire the quotes from our trades people and suppliers to finalize your budget. The Design Fee is not factored into the stated Budget Goal above.

²The Design Fee is 10% of the Budget Goal. This fee will be due in two parts. The first payment will be due upon signing this DSA. It will cover the deliverables during the Schematic Design phase. The remaining design fee will be due in to payments at the start of Design Development. In case the Budget goal changes, the last payment will be updated to reflect the final amount. .

³Any structural engineer fees will be billed directly to client, unless noted in the budget. Additional submittals and fees for variances, conservation, historical, homeowner association, etc. are to be paid by Client.

Date: 5/8/2021

Date

Client's Signature _____

DocuSigned by:

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Rebel Builders Signature _____

All plans, diagrams, drawings, designs, models, blueprints, renderings, and project scope of work created by Rebel Builders will remain the property of Rebel Builders. Design documents including drawings and written information will be created for the client for this project only and are not to be used, reproduced, copied or distributed for any other project, design professional or builder without written permission from Rebel Builders.

**Dowling**

FSA Estimate - Shell

3/31/21

Attic conversion

| ITEM | COST | NOTES |
|--------------------------------|------------------|---|
| 1 Job Permit | \$1,080 | |
| 2 Project Set-Up | \$1,944 | Floor and stair protections, dust control |
| 3 Project Management | \$5,805 | engineer affidavit included |
| 4 Demolition | \$0 | Included in framing |
| 5 Dumpster/Truck removal | \$3,375 | |
| 6 Masonry | \$2,025 | Extend chimney for roof height |
| 7 Foundation/Excavation | \$0 | |
| 8 Interior Trim/Moulding | \$0 | |
| 9 Framing | \$94,500 | |
| 10 Deck | \$0 | |
| 11 Roofing | \$0 | Included in framing |
| 12 Exterior Trim | \$0 | Included in framing |
| 13 Gutter | \$0 | Included in framing |
| 14 Window and Skylights | \$3,911 | Insatll Included in framing |
| 15 Exterior Doors and Hardware | \$0 | |
| 16 Siding | \$0 | Included in framing |
| 17 Electrical and Lighting | \$10,800 | New subpanel and wiring for HVAC included |
| 18 Plumbing | \$4,050 | Prep for future bathroom |
| 19 Custom Glazing | \$0 | |
| 20 HVAC | \$0 | |
| 21 Insulation | \$8,520 | |
| 22 Drywall & Plaster | \$2,025 | repairs in transition areas only |
| 23 Interior Doors and Hardware | \$473 | 1 door. install included in framing |
| 24 Interior Stairs & Railings | \$0 | Included in framing |
| 25 Cabinets | \$0 | |
| 26 Built In | \$0 | |
| 27 Hardwood Floor | \$0 | subfloor only |
| 28 Tile | \$0 | |
| 29 Stone/countertops | \$0 | |
| 30 Window treatment | \$0 | |
| 31 Clean-up | \$648 | |
| 32 Paint | \$4,725 | Interior at stairs and Exterior |
| 33 Closet/Bath Acces. | \$0 | |
| 34 Appliances | \$0 | |
| | \$0 | |
| TOTAL Construction | \$143,880 | Includes material and labor |
| Design 10% | \$14,388 | |
| Direct To Client Cost: | \$1,800 | Plot plan |
| Final | \$160,068 | |

Dowling Residence

22 Milo St Unit #2
Newton, MA 02465

Special Permit Application

Created by:
Rebel Builders
Newton, MA 02464 | (617) 971 8397
rebeldesignbuild.com

Prepared for:
City of Newton, MA
Historic Commission



Dowling Residence

Proposed Work

Purpose

- Create a functional en-suite bedroom with office space and full bathroom.
- Maximize footprint at Attic and create a seamless conversion with the existing rooms of the house

Main Scope

1. Create Main Bedroom with full bathroom, a closet and storage space and a office nook.
2. Frame New dormers at Attic and raise overhead height of main roof.
3. Update to code existing stairs to Attic.
4. Refinish existing roof to stay and raise chimney stack up to code with new ridge height.
5. Upgrade Electrical panels
6. Improve insulation.

Optional

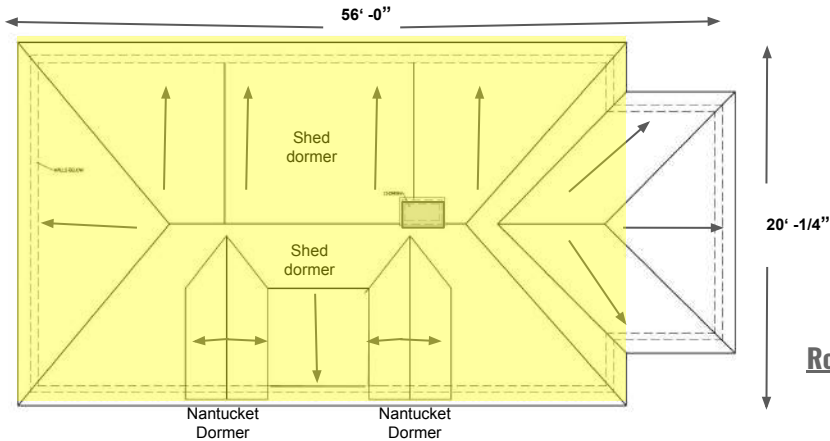
- A. Add Central air to second floor and attic



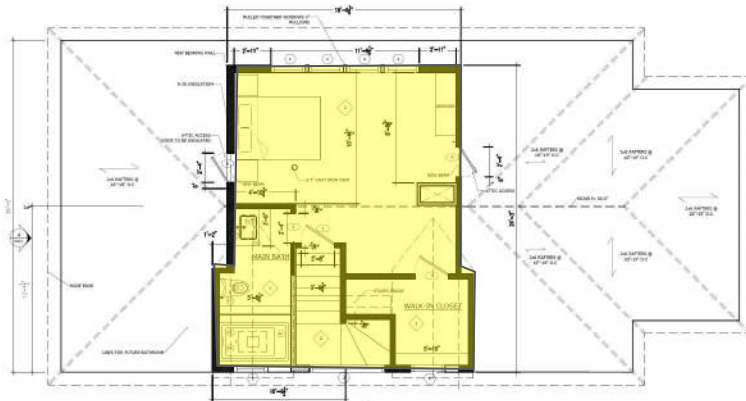
Proposed Design

Proposal

#25-22



Roof Plan - Proposed



Attic Plan - Proposed

Scope:

1. Demo partial attic roof & Stairs
2. Frame New roof higher, with dormers and new bearing walls.
3. Reinforce floor joists and hang existing hipped roof to new beams.
4. Frame new stairs and partition walls
5. Install new subfloor throughout. (storage included)
6. Frame and Install (5) Windows and (4) interior doors
7. Install new asphalt shingle roof, gutters, and waterproof transitions to existing.
8. Install hardie panel siding
9. Install new stairs, railing and trim.
10. Install new wainscot at bedroom.
11. Insulate new Main suite
12. Plaster and Paint new finish attic areas
13. New red oak strip 450 SF
14. Plumb and install new vanity, toilet and shower.
15. Tile bathroom floor and shower walls
16. Upgrade electrical service
17. Install new recessed lights and outlets at bedroom, bathroom and office. (4) decorative lights.
18. Install new HVAC (2) zones at both levels.
19. Extend Chimney
20. Install new closet solutions

Zoning Understanding

FAR Calculator
 The calculator below estimates FAR limits under the new FAR regulations. (Make sure to set site context in the lot size!)

Zone: SR1 SR2 SR3
 SBR1 SBR2/MB1

Lot Size:

Zone: SR3
 Lot Size: 6106 square feet
 Maximum FAR: 8.48
 Maximum Gross Floor Area: 2931 square feet

*A bonus of 92 is available for construction on lots created before December 1, 1951, provided that new construction complies with setback requirements for post-1953 lots and that new construction does not create an excessive amount of windows with respect to lot coverage or open space. The bonus also may not be used in conjunction with Section 16-21 (c) of the Zoning Ordinance, the de minimis rule.

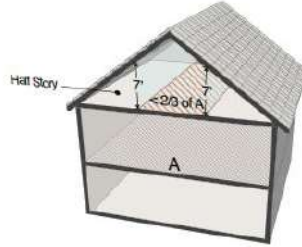


| | SR1 | SR2 | SR3 | | SR1 | SR2 | SR3 |
|--|-------|------|------|-----------------------------------|-----|-----|-----|
| Principal Building Setbacks (On or After 12/7/1953) | | | | Principal Building Height | | | |
| Ⓐ Front (min)* | 40' | 30' | 30' | Ⓐ Sloped Roof (max) | 36' | 36' | 38' |
| Ⓑ Side (min) | 20' | 15' | 10' | Ⓐ Flat Roof (max) | 30' | 30' | 30' |
| Ⓒ Rear (min) | 25' | 15' | 15' | Ⓐ Stories (max) | 2.5 | 2.5 | 2.5 |
| Principal Building Setbacks (Before 12/7/1953) | | | | Ⓐ Stories by Special Permit (max) | | | |
| Ⓐ Front (min)* | 25' | 25' | 25' | | 3 | 3 | 3 |
| Ⓑ Side (min) | 12.5' | 7.5' | 7.5' | Floor Area Ratio | | | |
| Ⓒ Rear (min) | 25' | 15' | 15' | All Lot Sizes see Sec. 3.1.9 | | | |

* See Sec. 1.5.3 for setback averaging requirement.

(Ord. No. S-263, 08/03/87; Ord. No. S-288, 12/07/87; Ord. No. T-173, 09/16/91; Ord. No. V-112, 04/23/97; Ord. No. V-113, 04/23/97; Ord. No. V-122, 07/18/97; Ord. No. Z-77, 09/29/11; Ord. No. A-73, 04/04/16; Ord. No. A-99, 01/17/17; Ord. No. B-2, 02-30-18)

C. **Story, Half.** A story directly under a sloping roof where the area with a ceiling height of 7 feet or greater is less than 2/3 of the area of the story next below.



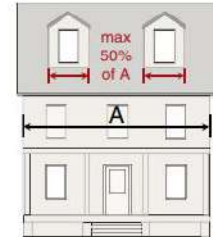
Half story
 $B1 = \frac{2}{3} A$
 $A: 1340 \text{ sf}$
 $B1: \text{SF allowed to have head height } +7 \text{ ft}$
 $B1 : 446 \text{ SF}$

The original 19'x26' attic footprint will have to be smaller or the shape and height of the dormers will have to play a role to meet city ordinances.

1. **Defined.** A projection built out from a sloping roof, usually containing a window. **#25-22**
2. Except as may be allowed by special permit in accordance with Sec. 7.3, the following restrictions apply to dormers above the second story in single- and two-family dwellings and to dormers in accessory structures.
 - a. A roof line overhang shall be continued between the dormer and the story next below so as to avoid the appearance of an uninterrupted wall plane extending beyond two stories.



- b. A dormer may be no wider than 50 percent of the length of the exterior wall of the story next below. Where more than one dormer is located on the same side of the roof, the width of all dormers combined may not exceed 50 percent of the length of the exterior wall next below.



Zoning and FAR Analysis

#25-22

Existing Property:

From Newton Zoning Bylaws 3.1.9:

Zone: SR3

FAR=0.48 + 0.2=0.5

Lot Size: 6106 SF

Allowed Gross Floor Area : 6106*0.5= 3053 SF

Existing Gross Floor Area:

Basement Area: N/A because exposed walls have less than 4'-0" from grade to the first story (From Newton Zoning Bylaws 1.5.5.D)

First Floor Area: 1394 SF

Second Floor Area: 1352 SF

Garage Area: 322 SF

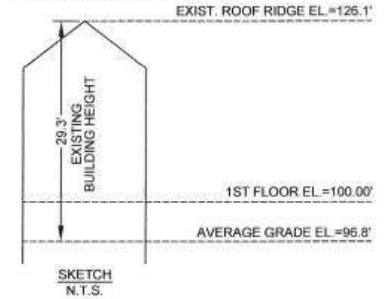
Total Gross Floor Area: 3,068 SF

Information from Plot Plan by Land Mapping dated 05/26/2021

ZONING CHART

| REGULATION | REQUIRED | EXISTING |
|----------------------|------------------------------|--------------------|
| Zoning District: SR3 | Lot Created Before 12/7/1953 | |
| Lot Area | min. 7,000 S.F. | 6,106 S.F. |
| Lot Frontage | min. 70' | 71.0' |
| Front Setback | min. 25' | 24.7' |
| Side Setback | min. 7.5' | 7.9' ; 9.3' |
| Rear Setback | min. 15' | 35.0' |
| Building Height | max. 36' | 29.3' |
| Average Grade | n/a | 96.8' |
| Lot Coverage | max. 30% | 22.7% (1,387 S.F.) |
| Open Space | min. 50% | 77.3% (4,719 S.F.) |

BUILDING HEIGHT CALCULATIONS:



Zoning and FAR Analysis Continued

Proposed Work:

From Newton Zoning Bylaws 3.1.9:

Zone: SR3

FAR=0.48 + 0.2=0.5

Lot Size: 6106 SF

Allowed Gross Floor Area : 6106*0.5= 3053 SF

Proposed Floor Area:

Basement Area: N/A because exposed walls have less than 4'-0" from grade to the first story (From Newton Zoning Bylaws 1.5.5.D)

First Floor Area: 1394 SF Unchanged

Second Floor Area: 1352 SF Unchanged

Garage Area: 0 SF (Demolished)

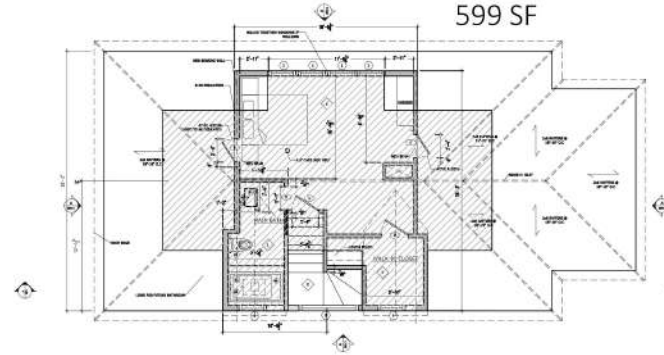
Attic Area: 599 SF

Total Gross Floor Area: 3,345 SF

Newton Zoning Bylaws 3.1.9-2

2. An increased FAR may be allowed by special permit if the proposed structure is consistent with and not in derogation of the size, scale and design of other structures in the neighborhood.

#25-22
ATTIC FLOOR GROSS
FLOOR AREA >5' IN
HEIGHT:
599 SF



Proposed attic plan (area greater than 5'-0" in height has patterned hatch)

Zoning Argument:

The addition of the third floor living space to unit #2 of 22 Milo St only increases the ridge height by 2'-8" so the new ridge will be at 33' which is less than the 36' max for SR3 zoned houses and in line with the ridge heights of the neighboring houses. While the total attic area above 5' in height is 599 SF, the finished space is 387 SF, and 300 SF of that area has a height of above 7'. This makes the usable space in the new attic on par with the size of the detached garage that was demolished on this property. All of the square footage added to the attic allows for a code compliant stairway, bathroom, and bedroom in a very small footprint. Please review the following architectural plans and elevations along with photos of the neighborhood to make a determination on this special permit.



PROPOSED 3D MODEL

*Sketch is for reference of possible layout. Design would explore the best solutions to accomplish the renovation goals.

MATERIALS PROPOSED

#25-22



AZEK PANELS
AND SHINGLES
ON THE NEW
DORMERS

ASPHALT
SHINGLES TO
MATCH EXISTING

EXISTING HOUSE PICTURES



SIDES



DETACHED
GARAGE



BACKYARD



FRONT

STREET PICTURES - 22 MILO STREET

#25-22



22 Milo St Plan Of Area



Property Information

Property ID 44004 0004MAIN
 Location 22-24 MILO ST
 Owner 22-24 MILO ST MASTER DEED



**MAP FOR REFERENCE ONLY
 NOT A LEGAL DOCUMENT**

City of Newton, MA makes no claims and no warranties, expressed or implied, concerning the validity or accuracy of the GIS data presented on this map.

Geometry updated 11/09/2018
 Data updated 11/14/2018

Print map scale is approximate. Critical layout or measurement activities should not be done using this resource.

THANK YOU

DESIGN  BUILD
REBEL
BUILDERS