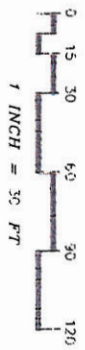
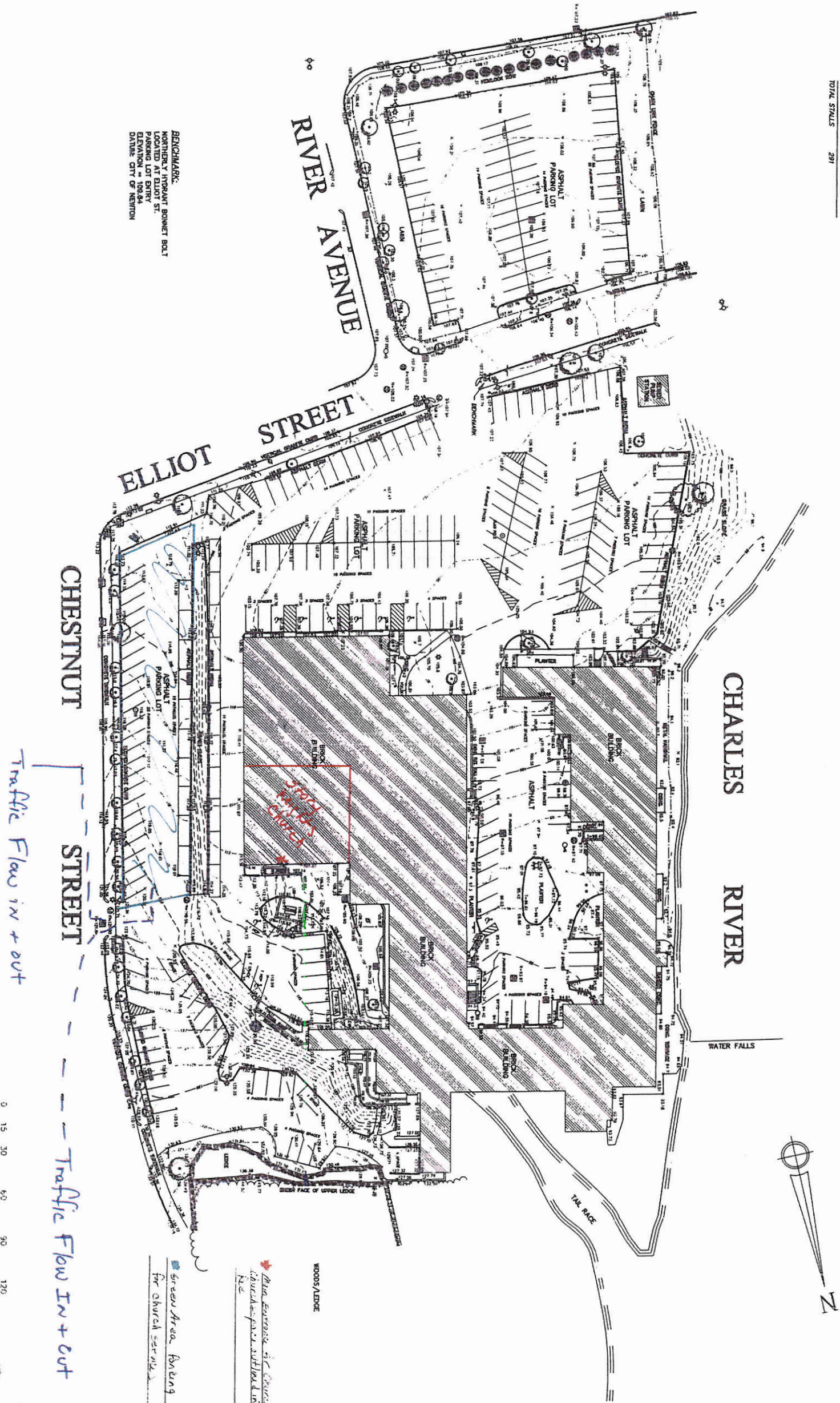


PARKING SUMMARY

| | | |
|--------------|----------|----------|
| MAIN PARCEL | STANDARD | HANDICAP |
| 229 | 9 | 0 |
| SUB PARCEL | 62 | 0 |
| TOTAL STALLS | 291 | |

BENCHMARK:
NORTHERLY HYDRANT BOUNNET BOLT
LOCATED AT ELLIOT ST.
PARKING LOT ENTRY
EAST SIDE OF MAIN
DATIVE CITY OF NEWTON



Traffic Flow in + out

Traffic Flow IN + out

WOODS/LEAVE
This former St. Church
boundary shall be used
for church service



R.E. Cameron & Associates, Inc.

Land Surveyors Civil Engineers
681 Washington Street, Norwood Massachusetts 02062
Tel. (781) 769-1777 Fax (781) 769-8644 recameron.com

TOPOGRAPHIC PLAN
ECHO BRIDGE OFFICE PARK
NEWTON UPPER FALLS
NEWTON, MASSACHUSETTS

Scale: 1" = 30'
Date: 12/06/04
Drawn By: JJB
Checked By: SOC
Job: B1215/3
Dwg: 3395

REVISION - DATE

12/07/04

JOB NO.
3395

Existing Parking as of 1/3/22

| Use | Square Footage | Zoning Requirement | Required Stalls |
|--------------------|----------------|--------------------|-----------------|
| Retail | 4,244 | 1 per 300 sf | 14 |
| Office | 20,000 | 1 per 3 employees | 10 |
| | 44,716 | 1 per 250 sf | 80 |
| | 3,197 | 1 per 333 sf | 134 |
| Medical Office | 960 | 1 per 200 | 16 |
| RD, Wholesale, Man | 8,239 | 1 per 1000 sf | 1 |
| Storage | 16,549 | 1 per 2,500 sf | 3 |
| Non Rentable | 5,155 | 1 per 3 seats | 0 |
| Religious | | 1 per 3 employees | 24 |
| Educational | | | 3 |
| Totals | 103,060 | | 285 |

Requirement for Proposed Change of Use for Story Heights Church and Expansion of Auditorium Seating

| Use | Square Footage | Zoning Requirement | Required Stalls |
|--------------------|----------------|--------------------|-----------------|
| Retail | 4244 | 1 per 300 sf | 14 |
| Office | 20000 | 1 per 3 employees | 10 |
| | 38876 | 1 per 250 sf | 80 |
| | 3197 | 1 per 333 sf | 117 |
| Medical Office | 960 | 1 per 200 | 16 |
| RD, Wholesale, Man | 8239 | 1 per 1000 sf | 1 |
| Storage | 16549 | 1 per 2,500 sf | 3 |
| Non Rentable | 5155 | 1 per 3 seats | 0 |
| Religious | | 1 per 3 employees | 47 |
| Sunday School | 4107 | 1 per 3 employees | 3 |
| Admin/business | 1733 | 1 per 45 | ??? |
| Totals | 103060 | | 291 |
| Totals | | | 5 |

New Story Heights Space Children arrive with parents attending church services
 New Story Heights Space Up to 13 Adults who are parents of Children attending church
 no "employees" Volunteers only by church attendees

Total Requirement 291
 Stalls on Lots Available
 No parking allowed on Sunday
 Shortage

Photo #1

Parking Lot
10:00 AM on Sunday
Sept 29, 2021

Ellist St



Photo # 2

Parking Lot
Sunday Sept 29, 2021

Chestnut St

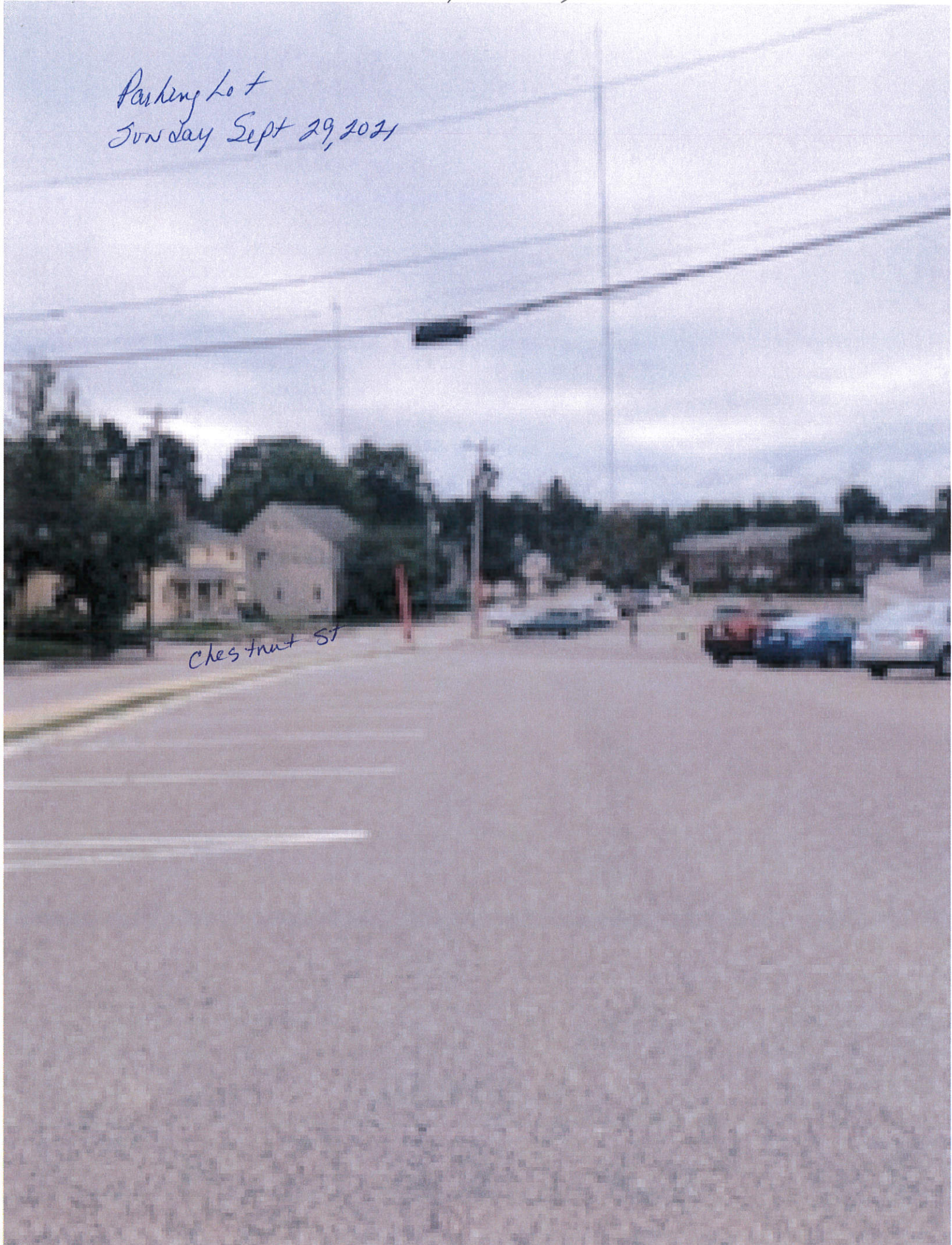


Photo # 3

Parking Area
Sunday Sept 29, 2021

Stonyberg Church
Location at Bldg



Chestnut St ↘



City of Newton, Massachusetts
 Department of Planning and Development
 1000 Commonwealth Avenue Newton, Massachusetts 02459

Telephone
 (617) 796-1120
 Telefax
 (617) 796-1086
 www.newtonma.gov

Ruthanne Fuller
 Mayor

Barney Heath
 Director

GENERAL PERMIT APPLICATION

PROJECT #: _____ ZONING DISTRICT: _____ DATE RECEIVED: _____

PROJECT DESCRIPTION: *Interior renovations per attached Plans. Modifications made to Bldg systems as required for change of use from Business to Religious/Educational use. NON PROFIT*

PROPERTY LOCATION INFORMATION

STREET ADDRESS: 1037 Chestnut St. CITY/ZIP: Newton UPPER Falls 02464
 LEGAL DESCRIPTION (SECTION, BLOCK, LOT): 51001 0004

PROPERTY OWNER INFORMATION

NAME: Echo Bridge LLC PHONE: 781-235-4300 ALT. PHONE: 617-590-1410
 MAILING ADDRESS: C/O Haynes Management E-MAIL ADDRESS: mbutler@haynesmanagement.com
34 Washington St, Suite DEC7 Wellesley, MA 02481

PROPERTY OWNER CONSENT

I am (we are) the owner(s) of the property subject to this application and I (we) consent as follows:
 1. This application for a land use permit or administrative approval for development on my (our) property is made with my permission.
 2. I (we) grant permission for officials and employees of the City of Newton to access my property for the purposes of this application.

X Mary K. Butler (Property Owner Signature) 12/29/11 (Date)
 X _____ (Property Owner Signature) _____ (Date)

NOTICE: The City of Newton staff may need access to the subject property during regular business hours and will attempt to contact the applicant/agent prior to any visit. Further, members of a regulatory authority of the city may visit the property as well.

APPLICANT / AGENT INFORMATION

NAME: Echo Bridge LLC PHONE: 781-235-4300 ALT. PHONE: 617-590-1410
 MAILING ADDRESS: C/O Haynes Management E-MAIL ADDRESS: mbutler@haynesmanagement.com
34 Washington St, Suite DEC7, Wellesley, MA 02481

X Mary K. Butler (Applicant/Agent Signature) 12/29/11 (Date)

NOTICE: The applicant/agent is the primary contact and may be any individual representing the establishment or property owner. The applicant/agent must also be legally authorized to make decisions on behalf of the Property Owner(s) in regards to the application.

----- OFFICE USE ONLY BELOW THIS LINE -----

CHECK APPROPRIATE PERMIT OR REVIEW PROCESS (CHECK ALL BEING SUBMITTED)

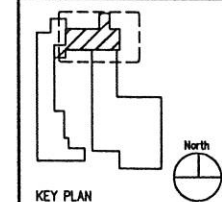
| | | | |
|-------------------------------------|-----------------------------------|--------------------------|--------------------------------|
| <input checked="" type="checkbox"/> | Zoning Review Application | <input type="checkbox"/> | Comprehensive Permit |
| <input type="checkbox"/> | Administrative Site Plan Review | <input type="checkbox"/> | Variance Application |
| <input type="checkbox"/> | Sign Permit | <input type="checkbox"/> | Historic Preservation Review |
| <input type="checkbox"/> | Special Permit/Site Plan Approval | <input type="checkbox"/> | Conservation Commission Review |
| <input type="checkbox"/> | Fence Appeal | <input type="checkbox"/> | Other, describe _____ |

Comments: _____

PERMIT INTAKE INITIALS AND DATE STAMP

NOTE: This form MUST accompany all other Department of Planning and Development applications.

To Be Completed By Applicant



KEY PLAN

STORYHEIGHTS CHURCH ANNEX
ECHO BRIDGE, Second Story

381 Elliot Street
Newton, Massachusetts
Haynes Management, Inc
34 WASHINGTON STREET, WELLESLEY, MA

CODE DIAGRAMS

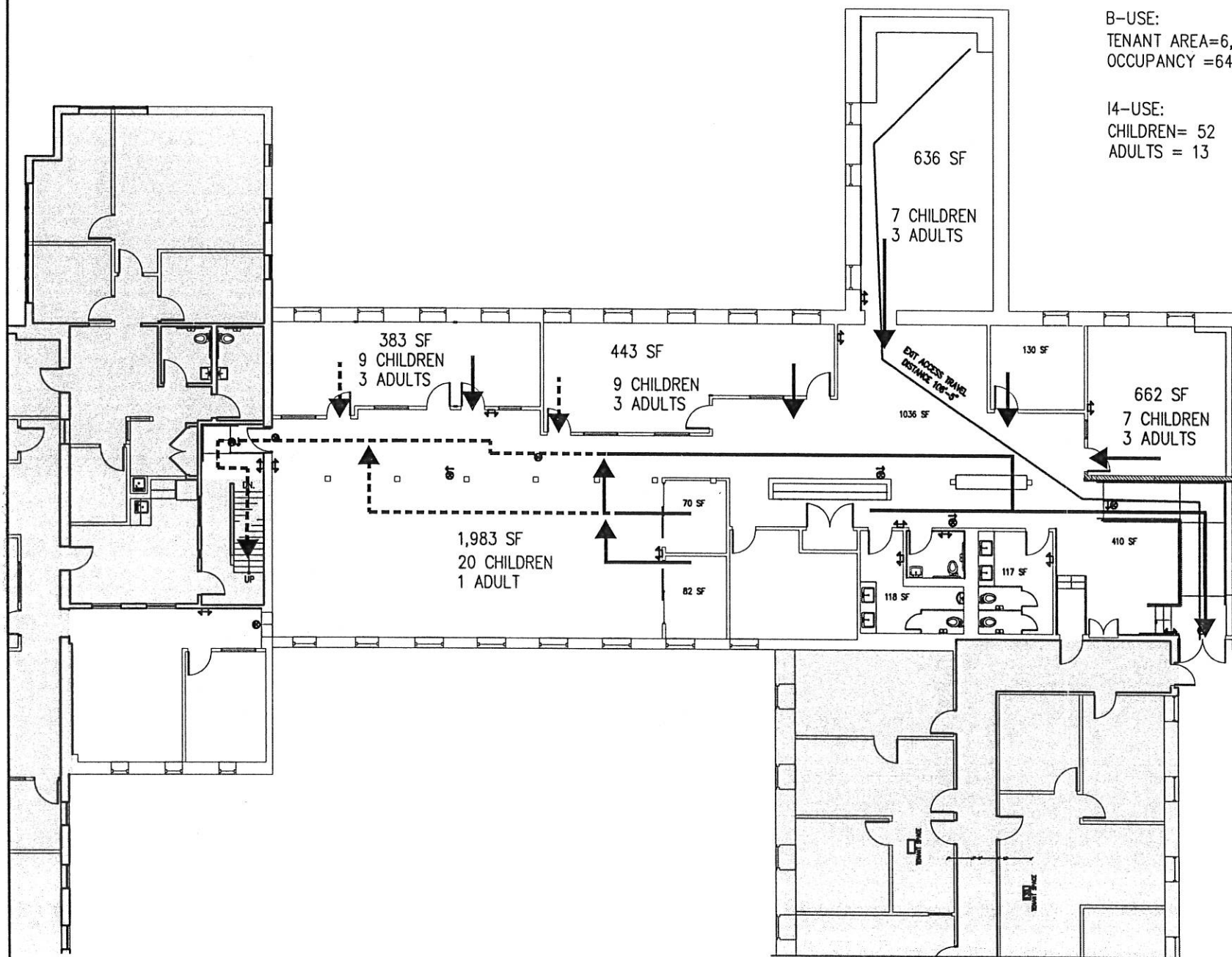
| NO. | ISSUE/REVISION | DATE |
|-----|----------------|----------|
| 2 | CONSTRUCTION | 08/02/21 |
| 1 | CLIENT REVIEW | 07/08/21 |

AC 3/16"=1'-0"
DRAWN BY: SCALE
DWA 383.18
CHECKED BY: PROJECT NO.

G
1.0

B-USE:
TENANT AREA=6,353 SF
OCCUPANCY =64 PERSONS

14-USE:
CHILDREN= 52
ADULTS = 13



1 EGRESS PLAN
1/16"=1'-0"
PROJECT NORTH

LEGEND

- AREA NOT IN CONTRACT
- ⊙ ILLUMINATED EXIT SIGN
- ⊕ EMERGENCY LIGHT W/ EMERGENCY POWER SUPPLY TO PROVIDE CONTINUOUS ILLUMINATION FOR 1.5 HOURS IN CASE OF PRIMARY POWER FAILURE
- TRAVEL DISTANCE
- PRIMARY EGRESS ROUTE
- - - SECONDARY EGRESS ROUTE
- FE ● FIRE EXTINGUISHER

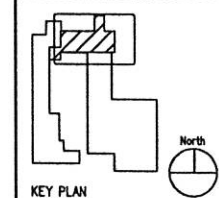
GENERAL NOTES

1. EMERGENCY LIGHT LOCATIONS ARE APPROXIMATE. EC IS TO LOCATE LIGHTS AS REQ'D TO PROVIDE THE REQ'D FOOTCANDLE OF ILLUMINATION AT THE WALKING SURFACE. SEE 780 CMR SECTION 1006.2.

D.W. ARTHUR ASSOCIATES ARCHITECTURE, INC

760 MAIN STREET WALTHAM, MA 02451 TEL: 617-426-2200

www.DWARTHUR.com



KEY PLAN

STORYHEIGHTS CHURCH ANNEX
 ECHO BRIDGE, Second Story
 381 Elliot Street
 Newton, Massachusetts
 Haynes Management, Inc
 34 WASHINGTON STREET, WELLESLEY, MA

DEMO FLOOR PLAN

| | |
|--|--|
| | |
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|-----|----------------|----------|
| 2 | CONSTRUCTION | 08/02/21 |
| | CLIENT REVIEW | 7/09/21 |
| NO. | ISSUE/REVISION | DATE |

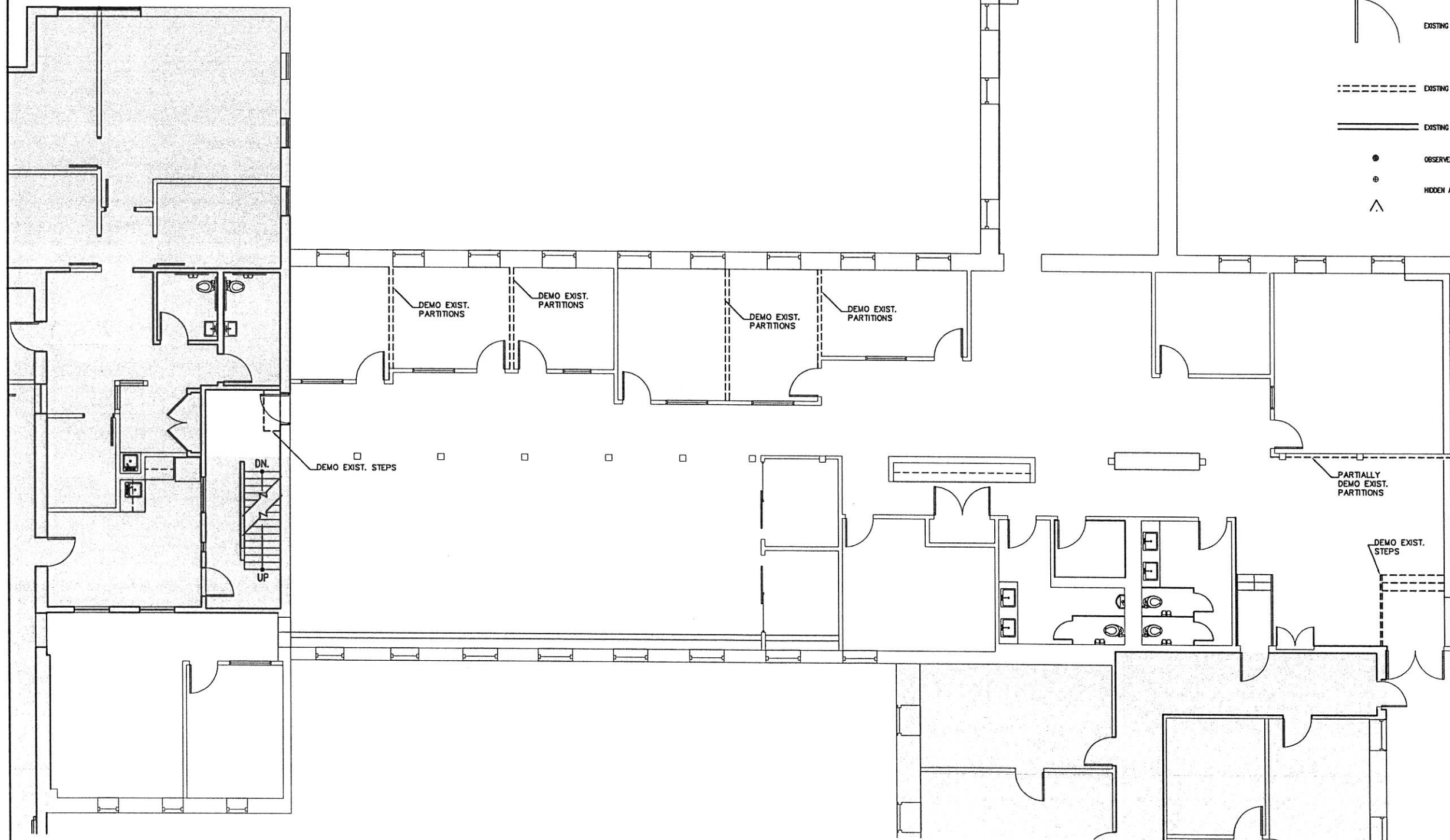
AC 3/16"=1'-0"
 DRAWN BY: SCALE
 DWA 383.16
 CHECKED BY: PROJECT NO.

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 1.0

GENERAL NOTES
 1. ALL STRUCTURAL COLUMNS TO REMAIN.

LEGEND

- NOT IN CONTRACT
- EXISTING DOOR TO BE DEMOLISHED
- EXISTING DOOR TO REMAIN
- EXISTING WALL TO BE DEMOLISHED
- EXISTING WALL TO REMAIN
- OBSERVED STRUCTURAL COLUMN
- HIDDEN ASSUMED STRUCTURAL COLUMN
- HIDDEN ASSUMED STRUCTURAL COLUMN



D.W. ARTHUR
ASSOCIATES
ARCHITECTURE, INC

760 MAIN STREET
WALTHAM, MA 02451
TEL: 617-426-2200

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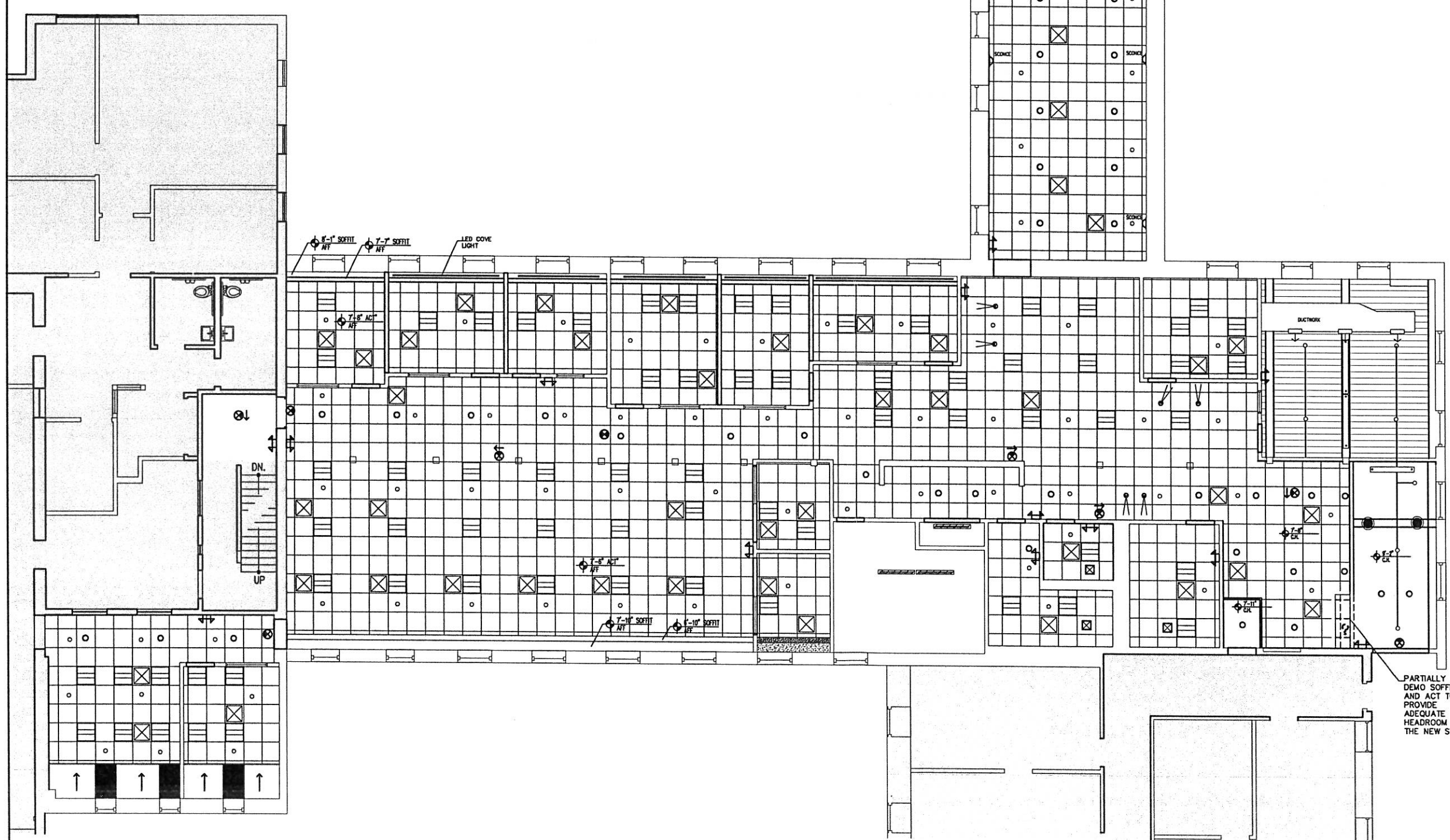
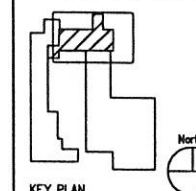


RCP DEMO KEY

○ = SALVAGE FOR RELOCATION
 ⊗ = DEMOLISH

UNLESS OTHERWISE NOTED ALL OTHER LIGHT FIXTURES SHOWN ARE EXISTING TO REMAIN

GENERAL NOTES:
 THESE DRAWINGS ARE ISSUED FOR LIGHTING COORDINATION PURPOSES ONLY. ALL HVAC & FP/FA SHALL BE DESIGN-BUILD BY CONTRACTOR



STORYHEIGHTS CHURCH ANNEX
 ECHO BRIDGE, Second Story
 381 Elliot Street
 Newton, Massachusetts
 Haynes Management, Inc
 34 WASHINGTON STREET, WELLESLEY, MA

DEMO
RCP

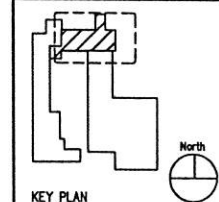
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| 2 | CONSTRUCTION | 08/02/21 |
| | CLIENT REVIEW | 7/28/21 |

AC 3/16"=1'-0"
 DRAWN BY: SCALE
 DWA 383.16
 CHECKED BY: PROJECT NO.

PARTIALLY DEMO SOFFIT AND ACT TO PROVIDE ADEQUATE HEADROOM AT THE NEW STEPS



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2.0



STORYHEIGHTS CHURCH ANNEX
ECHO BRIDGE, Second Story
381 Elliot Street
Newton, Massachusetts
Haynes Management, Inc
34 WASHINGTON STREET, WELLESLEY, MA

FLOOR PLAN

| NO. | ISSUE/REVISION | DATE |
|-----|----------------|----------|
| 2 | CONSTRUCTION | 08/02/21 |
| 1 | CLIENT REVIEW | 07/08/21 |

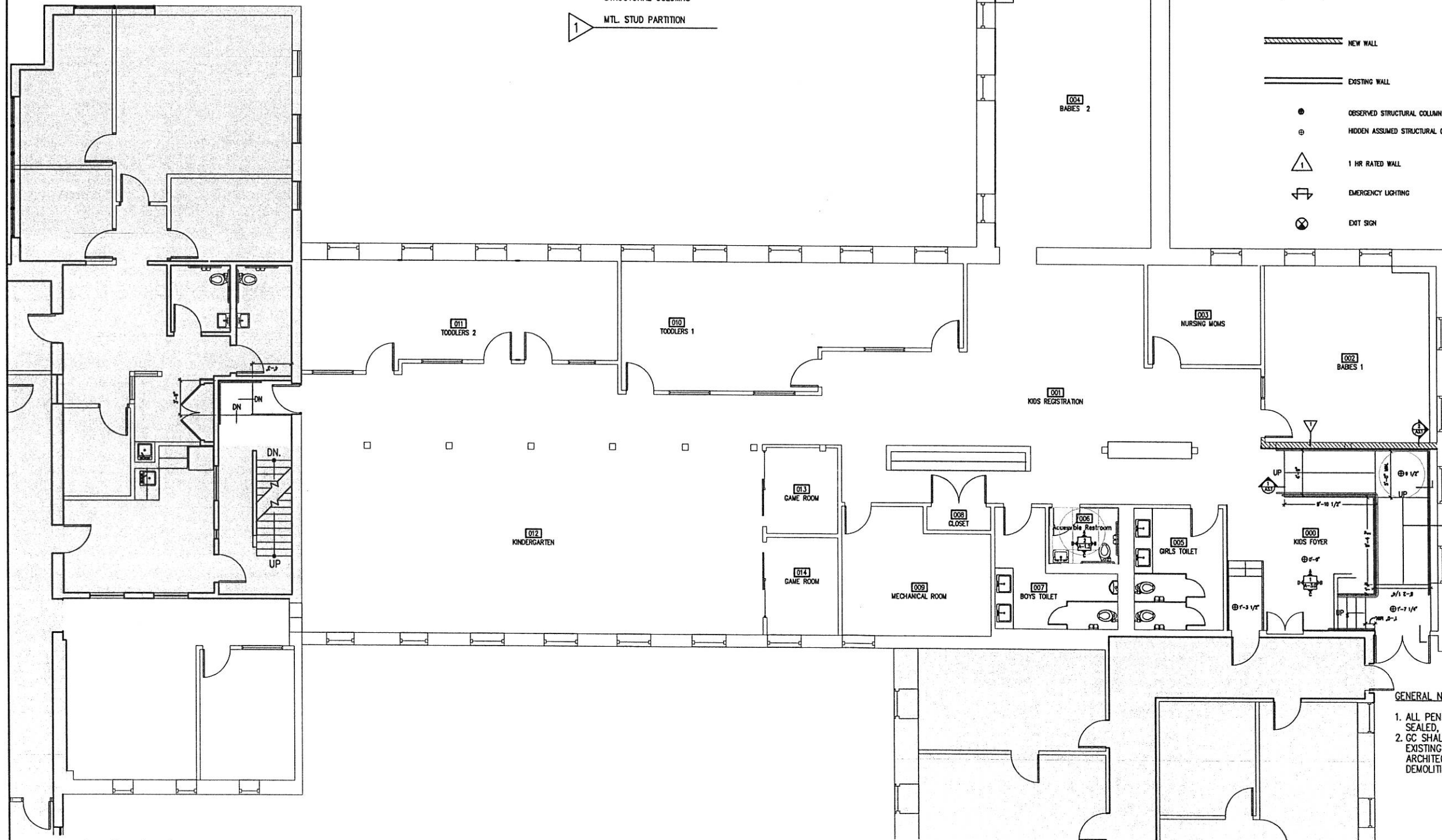
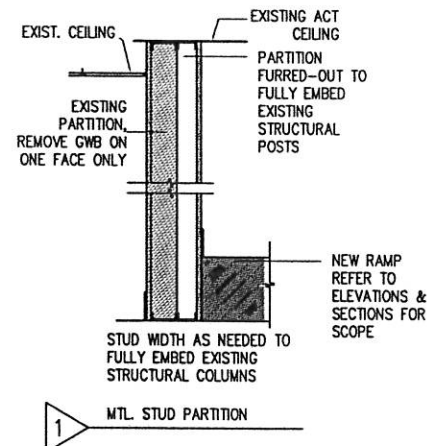
AC 3/16"=1'-0"
DRAWN BY: SCALE
DWA 383.18
CHECKED BY: PROJECT NO.

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GENERAL NOTES
1. NEW PARTITIONS TO BE INSTALLED TO UNDERSIDE OF DECK.
2. HVAC SYSTEM TO BE REPLACED. GC AND MECH ENGINEER TO COORDINATE.

LEGEND

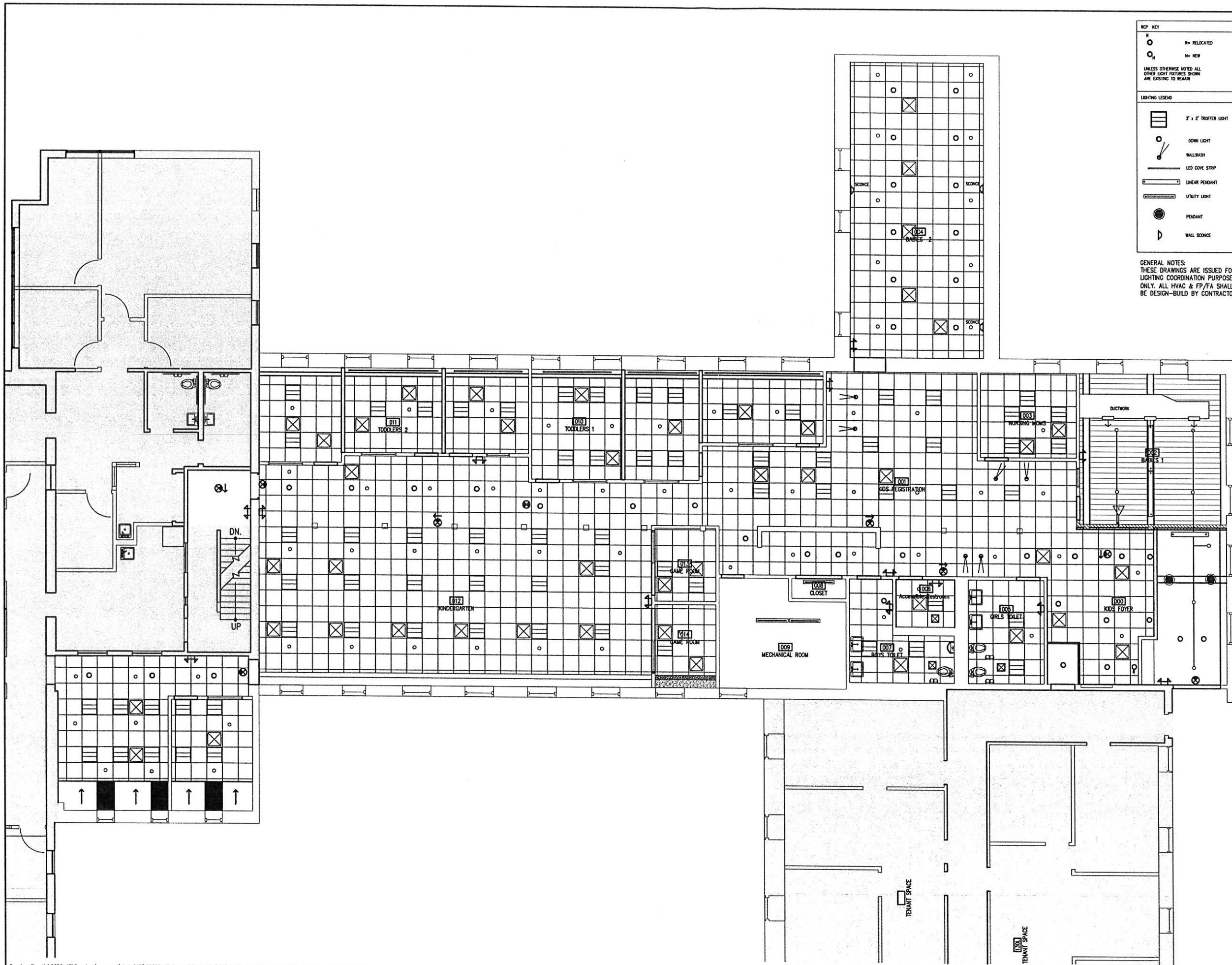
- NOT IN CONTRACT
- NEW DOOR
- EXISTING DOOR
- NEW WALL
- EXISTING WALL
- OBSERVED STRUCTURAL COLUMN
- HIDDEN ASSUMED STRUCTURAL COLUMN
- 1 HR RATED WALL
- EMERGENCY LIGHTING
- EXIT SIGN



Max slope 1:12
1'-7 1/4": 19'-3"
Ramp 1= 9'-4 1/2"
Ramp 2= 9'-10 1/2"

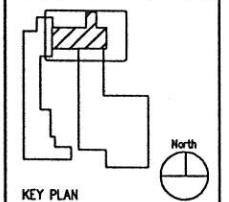
GENERAL NOTES:
1. ALL PENETRATIONS SHALL BE FIRE SEALED, 1 HOUR RATED ASSEMBLY.
2. GC SHALL REVIEW CONDITIONS OF EXISTING ASSEMBLY WITH THE ARCHITECT, IN THE FIELD, FOLLOWING DEMOLITION PHASE.





RFI KEY
 R= RELOCATED
 N= NEW
 UNLESS OTHERWISE NOTED ALL OTHER LIGHT FIXTURES SHOWN ARE EXISTING TO REMAIN
LIGHTING LEGEND
 2' x 2' TROFFER LIGHT
 DOWN LIGHT
 WALLWASH
 LED COVE STRIP
 LINEAR PENDANT
 UTILITY LIGHT
 PENDANT
 WALL SCONCE
 GENERAL NOTES:
 THESE DRAWINGS ARE ISSUED FOR LIGHTING COORDINATION PURPOSES ONLY. ALL HVAC & FP/FA SHALL BE DESIGN-BUILD BY CONTRACTOR

D.W. ARTHUR ASSOCIATES ARCHITECTURE, INC.
 760 MAIN STREET
 WALTHAM, MA 02451
 TEL: 617-426-9200
 www.DWARTHUR.com



STORYHEIGHTS CHURCH ANNEX
 ECHO BRIDGE, Second Story
 381 Elliot Street
 Newton, Massachusetts
 Haynes Management, Inc
 34 WASHINGTON STREET, WELLESLEY, MA

REFLECTED CEILING PLAN

| NO. | ISSUE/REVISION | DATE |
|-----|----------------|----------|
| 2 | CONSTRUCTION | 08/02/21 |
| 1 | CLIENT REVIEW | 07/08/21 |

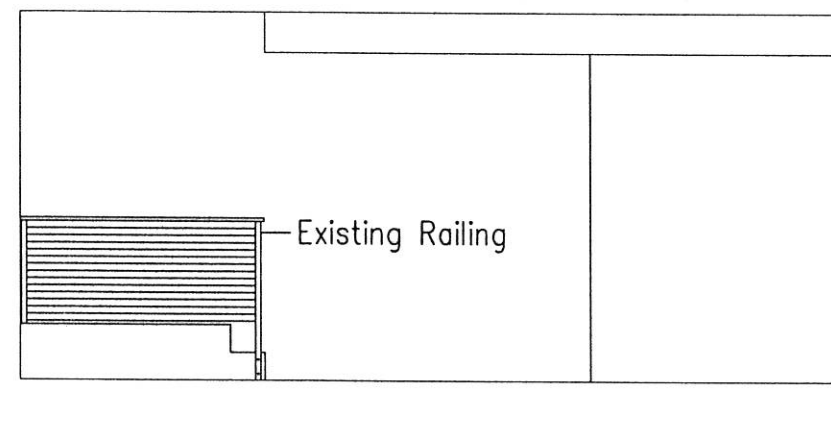
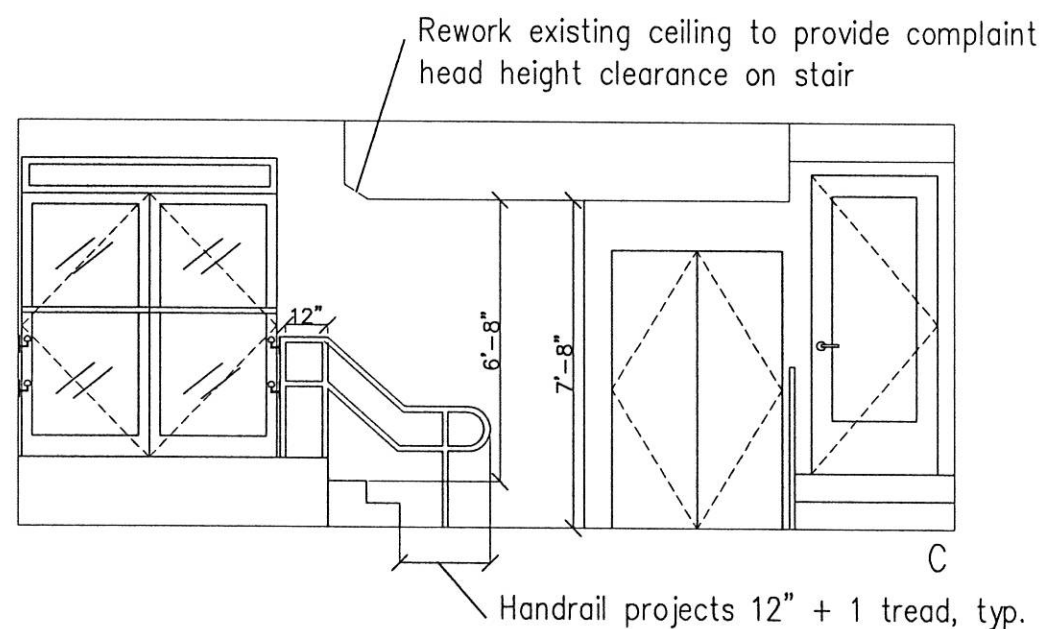
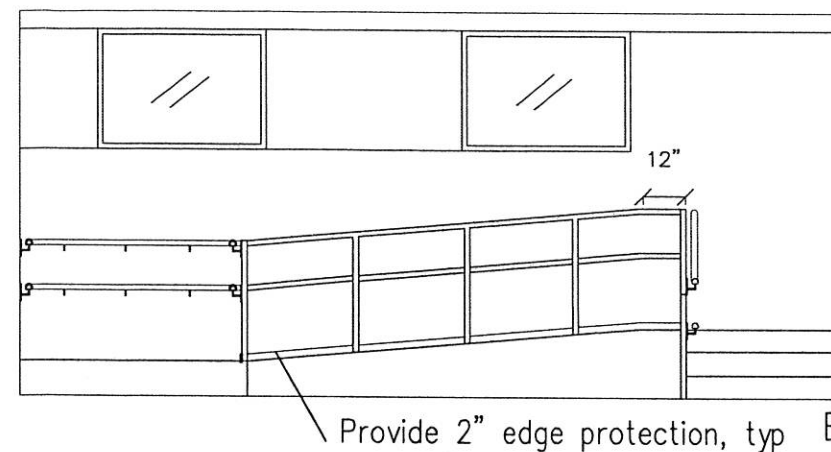
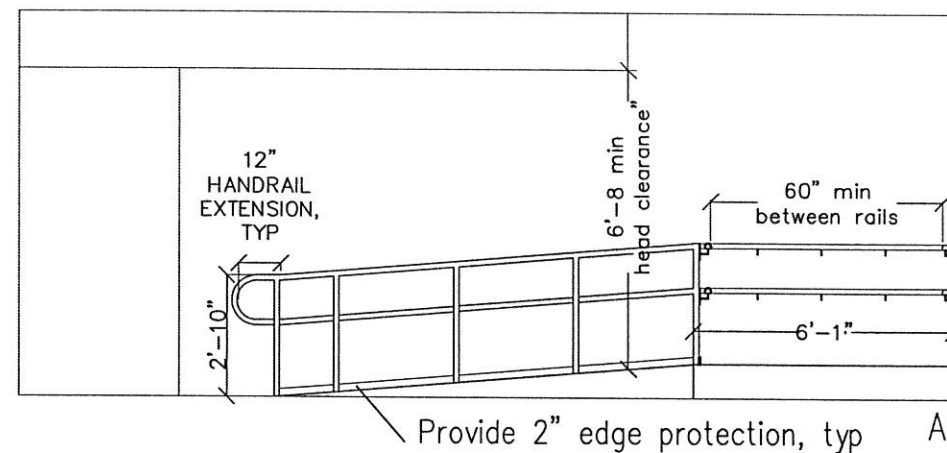
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 DWA 383.18
 CHECKED BY: PROJECT NO.



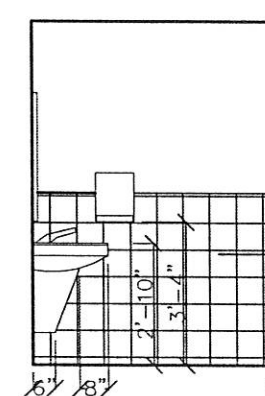
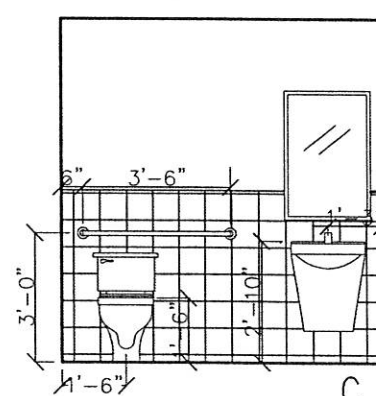
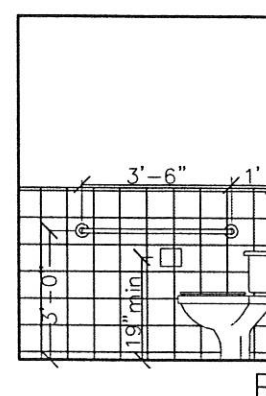
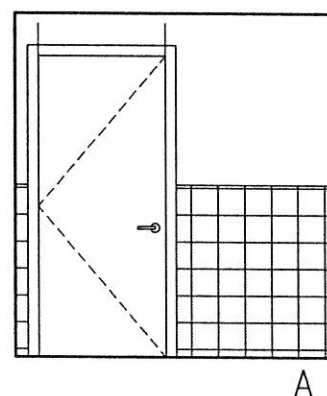
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STORYHEIGHTS CHURCH ANNEX
ECHO BRIDGE, Second Story
381 Elliot Street
Newton, Massachusetts
Haynes Management, Inc
34 WASHINGTON STREET, WELLESLEY, MA



1 Foyer Elevations
1/2"=1'-0"



2 Accessible Restroom Elevations
1/2"=1'-0"

ELEVATIONS

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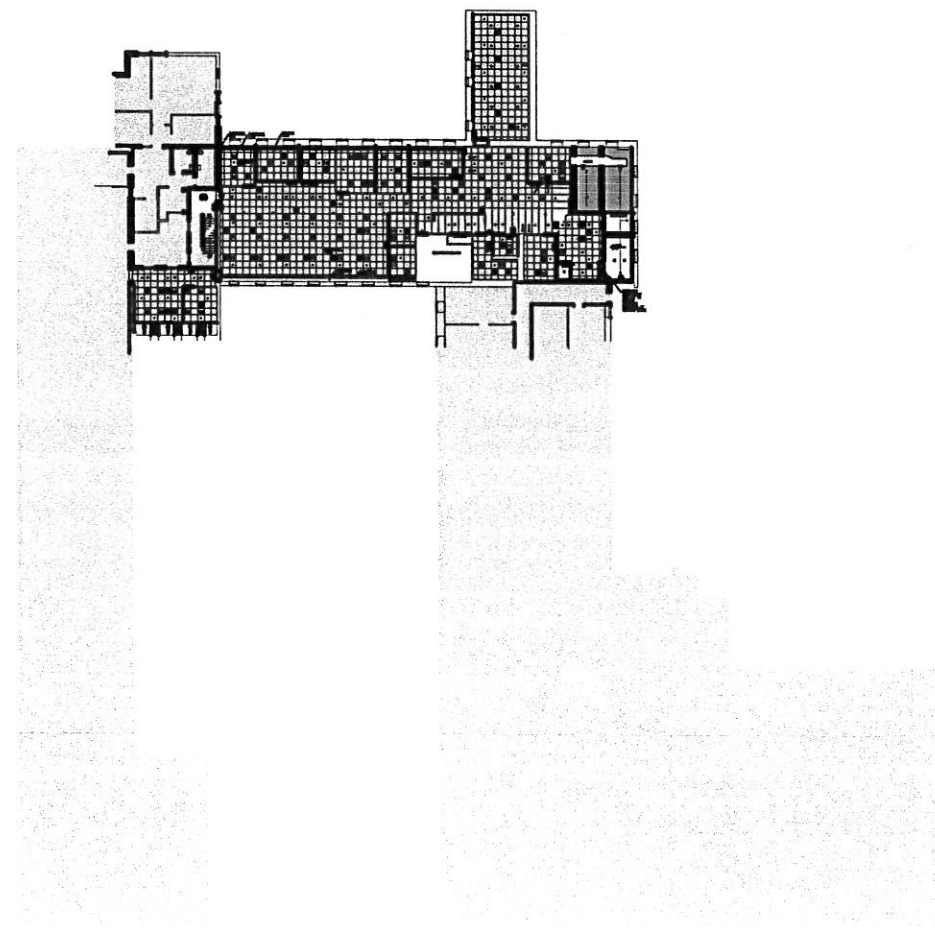
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| 2 | CONSTRUCTION | 08/02/21 |
| 1 | CLIENT REVIEW | 07/08/21 |
| NO. | ISSUE/REVISION | DATE |

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| AC | AS NOTED |
| DRAWN BY: | SCALE |
| DWA | 383.1B |
| CHECKED BY: | PROJECT NO. |

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3.0

GENERAL NOTES:
THESE CAD FILES ARE ISSUED
FOR LIGHTING COORDINATION
PURPOSES ONLY. ALL HVAC &
FP/FA SHALL BE DESIGN-BUILD
BY CONTRACTOR

DEMO RCP



NEW CONSTRUCTION RCP

