

## Memorandum

Pages: 1  
 Date: 12/03/2021  
 To: Newton Inspectional Services Department  
 From: Howard Raley  
 Flavin Architects

Re: 75 Pleasant Street \_Verification of FAR Calculations

Project # 20081

Ref.: Site Plan\_Sheet 1 of 4.  
 Everett M. Brooks Company

SPECAIL PERMIT APPLICATION

**Ho Kim Residence**

This is to confirm that the building's FAR calculations have been reviewed and coordinated with Everett M. Brooks. for the proposed second attached Garage. A detailed breakdown of the calculations are listed below:

**FAR Calculations 12/03/2021**

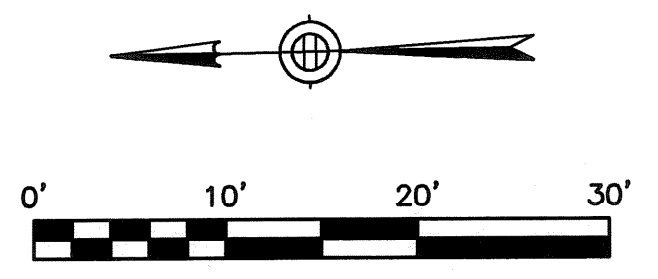
- Basement FAR = 1,133.7 SF
  - Exposed wall over 4' = 127'
  - Basement Perimeter = 286'
  - Basement Area = 2,553 SF
  - $(127 / 286) \times 2,553 = 1,133.7$  SF
  - 50% of 2,553 = 1,276.5
  - \*\* 1,133.7 SF is the lesser
- First Floor FAR = 2,873 SF
- Second Floor FAR = 2,354 SF
- Attic = 0 SF (No Attic Floor)
- Current FAR total = 6,360.7 SF = **.27**
- Original FAR total currently under construction: 6,214.00 SF = **.264**
- Maximum FAR = 7,766.88 SF = .33

Sincerely,

**Howard Raley, AIA**  
 Principal



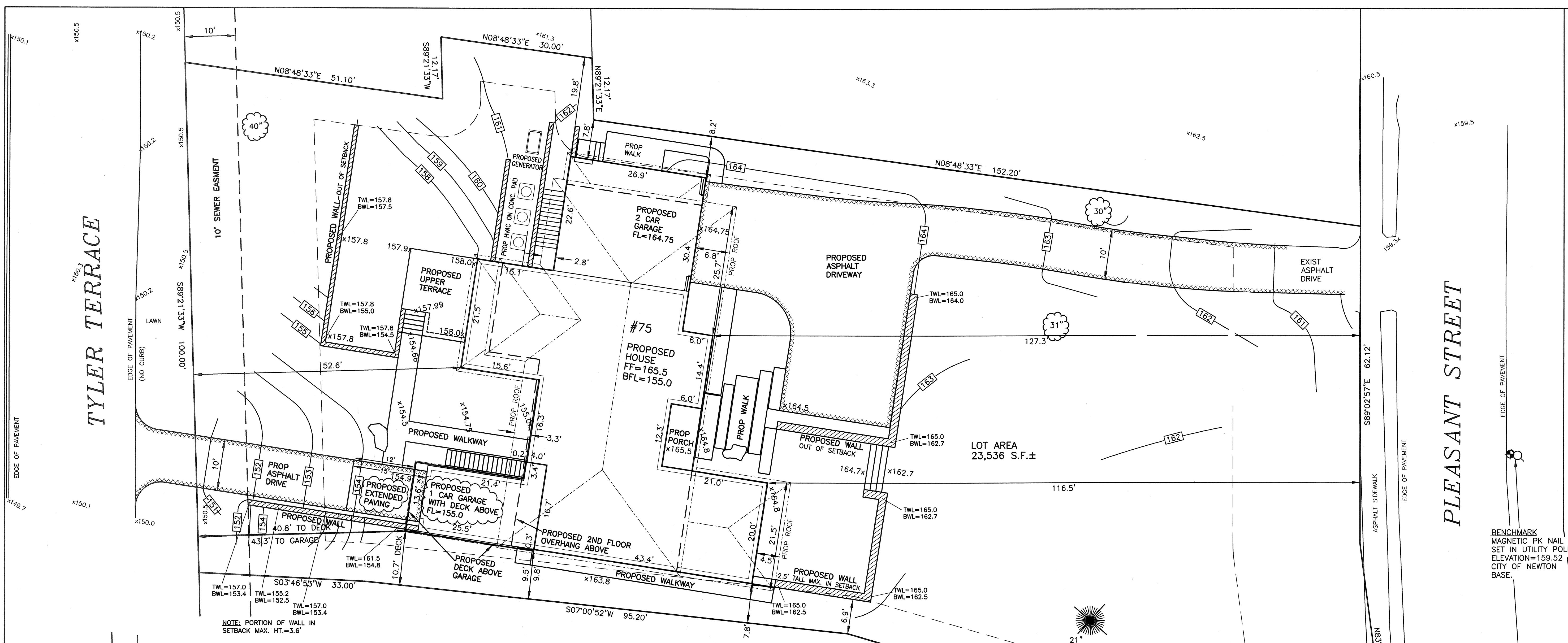
ESTABLISHED 1916  
**EMB**  
 EVERETT M. BROOKS CO.  
 SURVEYORS & ENGINEERS  
 49 LEXINGTON STREET  
 WEST NEWTON, MA 02465  
 (617) 527-8750  
 info@everettbrooks.com



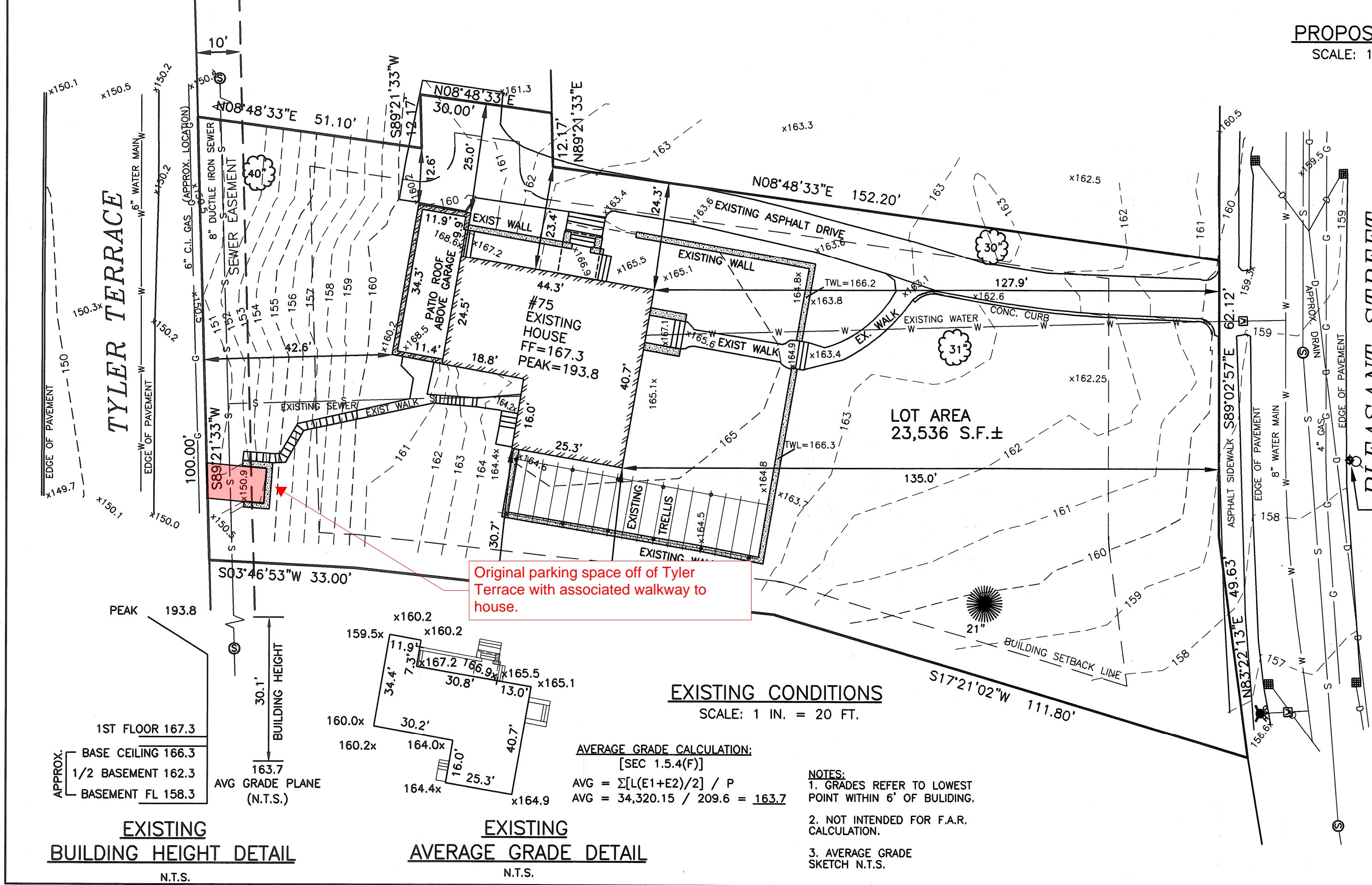
**LEGEND**

- UTILITY POLE
- WATER GATE
- ⊕ HYDRANT
- ⊗ GAS GATE
- ⊙ SEWER MANHOLE
- ⊕ DRAIN MANHOLE
- ⊙ CATCH BASIN
- TREE
- ⊕ LIGHT POLE
- ⊕ SIGN
- TBR TO BE REMOVED
- TBA TO BE ABANDONED
- THH DEEP TEST HOLE
- PTH PERCOLATION TEST
- 71.4 X SPOT ELEVATION
- 71 PROPOSED CONTOUR
- 71- EXISTING CONTOUR
- D DRAIN LINE
- RD ROOF DRAIN
- FD FOUNDATION DRAIN
- W WATER LINE
- S SEWER LINE
- G GAS LINE
- OHV OVERHEAD WIRES
- X FENCE
- STONEWALL
- HEDGE
- TREE LINE

BENCHMARK  
 MAGNETIC PK NAIL  
 SET IN UTILITY POLE  
 ELEVATION=159.52  
 CITY OF NEWTON  
 BASE.

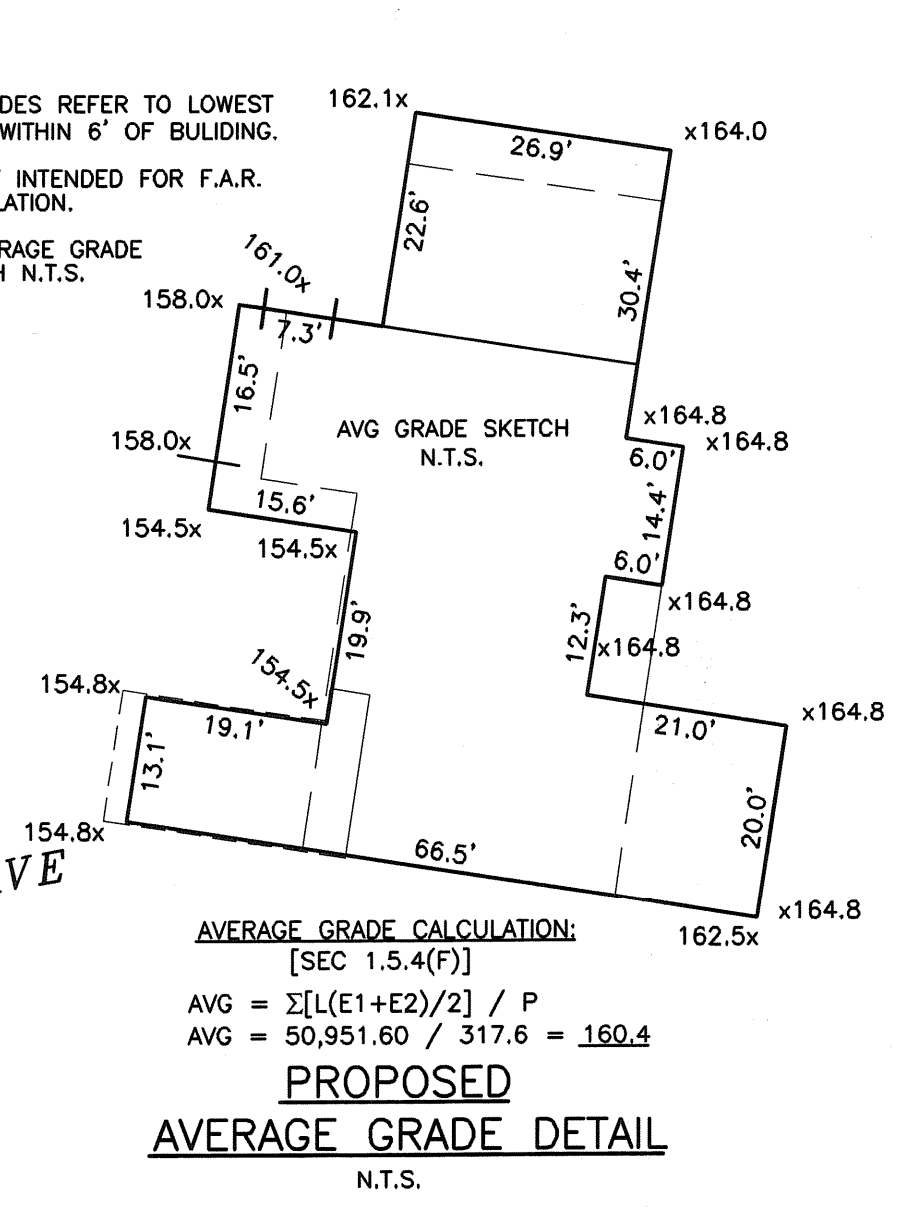


**PROPOSED LAYOUT**  
 SCALE: 1 IN. = 10 FT.



**EXISTING CONDITIONS**  
 SCALE: 1 IN. = 20 FT.

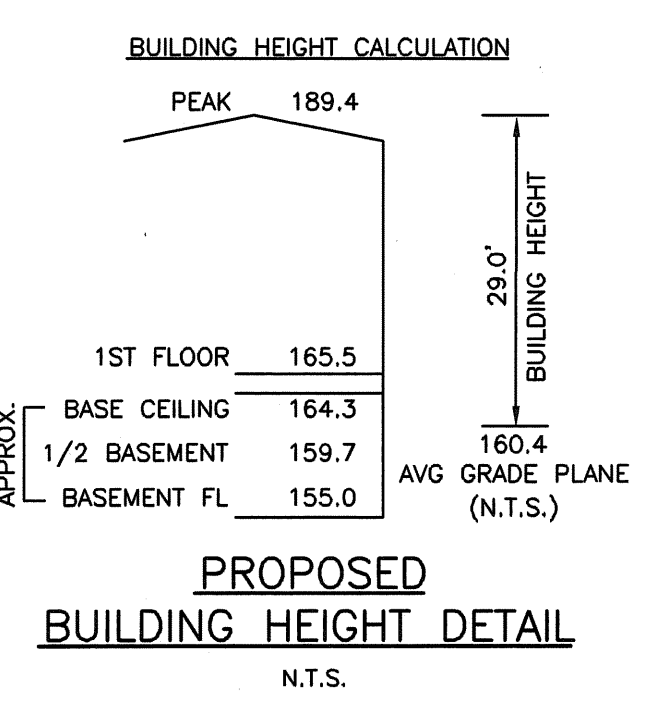
**NOTES:**  
 1. GRADES REFER TO LOWEST POINT WITHIN 6' OF BUILDING.  
 2. NOT INTENDED FOR F.A.R. CALCULATION.  
 3. AVERAGE GRADE SKETCH N.T.S.



**PROPOSED AVERAGE GRADE DETAIL**  
 N.T.S.

**IMPERVIOUS AREAS**

	EXISTING	PROPOSED
HOUSE & STEPS	2,058 S.F.	3,844 S.F.
DRIVEWAY	1,946 S.F.	3,119 S.F.
WALKS/PATIOS/WALLS	832 S.F.	1,203 S.F.
	4,836 S.F.	8,166 S.F.



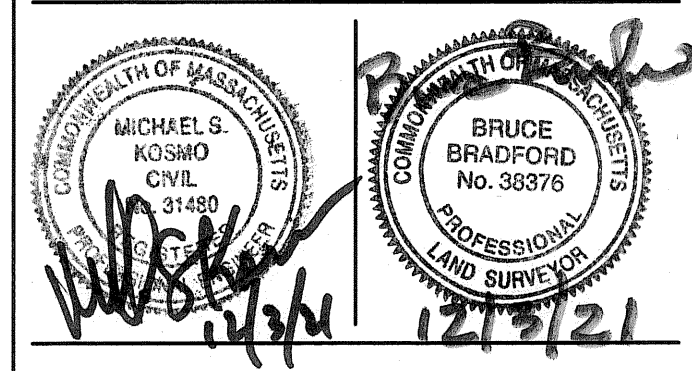
**PROPOSED BUILDING HEIGHT DETAIL**  
 N.T.S.

**ZONING INFORMATION**

ZONE: SINGLE RESIDENCE 2 DISTRICT (SR2)  
 PLAN DATED: APRIL 22, 1930, MARCH 7, 1927  
 DEED REFERENCE: BOOK 73907 PAGE 303

	EXISTING	PROPOSED	PERMITTED
LOT AREA (MIN)	23,536 S.F.	23,536 S.F.	10,000 S.F.
LOT AREA PER UNIT (MIN)	23,536 S.F.	23,536 S.F.	15,000 S.F.
LOT COVERAGE (MAX)	8.6%	13.7%	30%
OPEN SPACE (MIN)	83%	73%	50%
LOT FRONTAGE (MIN)	111.75'	111.75'	80'
SETBACK (MIN)			
FRONT	42.6'	40.8'	25'
SIDE	12.6'	7.8'	15'
REAR	-	-	-
BUILDING HEIGHT (MAX)			
SLOPED ROOF	30.1'	-	36'
FLAT ROOF	-	29.0'	30'
BUILDINGS	2,015 S.F.	3,225 S.F.	
STRUCTURES	2,015 S.F.	3,283 S.F.	
DRIVE	1,946 S.F.	3,082 S.F.	
	3,961 S.F.	6,378 S.F.	

NOTES: 1. ZONING COMPLIANCE DETERMINED BY MUNICIPALITY.  
 2. AREAS FOR F.A.R. CALCULATION PROVIDED BY ARCHITECT.



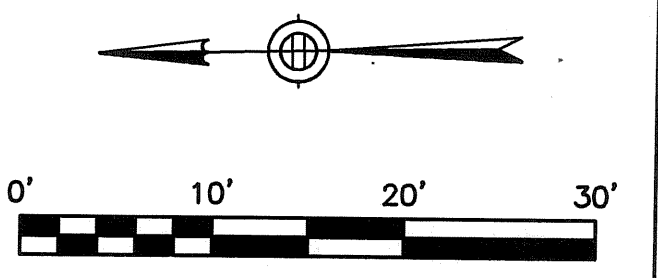
**SITE PLAN OF LAND IN NEWTON, MA**  
 75 PLEASANT STREET

SCALE: 1 IN. = 10 FT.  
 DATE: JULY 19, 2021  
 DRAWN: ES  
 CHECK: MSK & BB

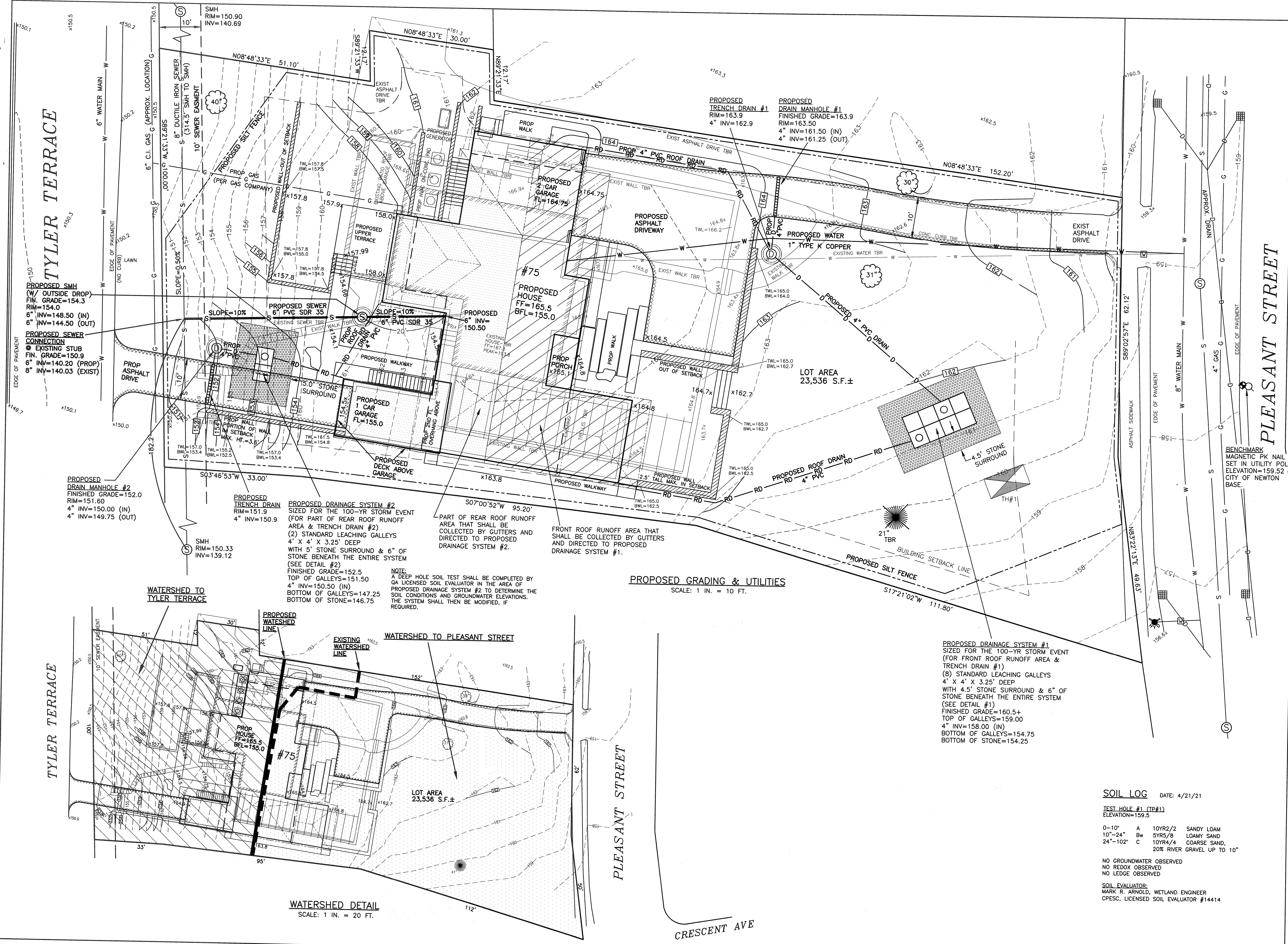
REVISIONS:  
 9/30/21 ARCH COMMENTS/ CHANGES ES  
 11/10/21 ENGINEERING MEMO ES  
 12/3/21 GARAGE ES

PROJECT NO. 26150 SHEET 1 OF 4

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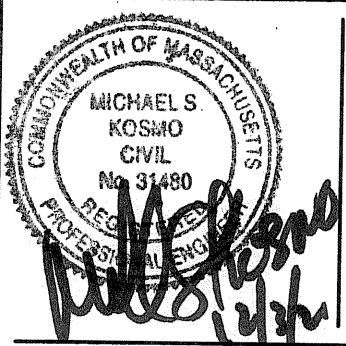
**PROPOSED GRADING & UTILITIES**  
 SCALE: 1 IN. = 10 FT.

**PROPOSED DRAINAGE SYSTEM #1**  
 SIZED FOR THE 100-YR STORM EVENT  
 (FOR FRONT ROOF RUNOFF AREA &  
 TRENCH DRAIN #1)  
 (8) STANDARD LEACHING GALLEYS  
 4' X 4' X 3.25' DEEP  
 WITH 4.5' STONE SURROUND & 6" OF  
 STONE BENEATH THE ENTIRE SYSTEM  
 (SEE DETAIL #1)  
 FINISHED GRADE=160.5+  
 TOP OF GALLEYS=159.00  
 4" INV=158.00 (IN)  
 BOTTOM OF GALLEYS=154.75  
 BOTTOM OF STONE=154.25

**PROPOSED DRAINAGE SYSTEM #2**  
 SIZED FOR THE 100-YR STORM EVENT  
 (FOR PART OF REAR ROOF RUNOFF  
 AREA & TRENCH DRAIN #2)  
 (2) STANDARD LEACHING GALLEYS  
 4' X 4' X 3.25' DEEP  
 WITH 5' STONE SURROUND & 6" OF  
 STONE BENEATH THE ENTIRE SYSTEM  
 (SEE DETAIL #2)  
 FINISHED GRADE=152.5  
 TOP OF GALLEYS=151.50  
 4" INV=150.50 (IN)  
 BOTTOM OF GALLEYS=147.25  
 BOTTOM OF STONE=146.75

**NOTE:**  
 A DEEP HOLE SOIL TEST SHALL BE COMPLETED BY  
 QA LICENSED SOIL EVALUATOR IN THE AREA OF  
 PROPOSED DRAINAGE SYSTEM #2 TO DETERMINE THE  
 SOIL CONDITIONS AND GROUNDWATER ELEVATIONS.  
 THE SYSTEM SHALL THEN BE MODIFIED, IF  
 REQUIRED.

**SOIL LOG** DATE: 4/21/21  
 TEST HOLE #1 (TP#1)  
 ELEVATION=159.5  
 0-10" A 10YR2/2 SANDY LOAM  
 10"-24" Bw 5YR5/8 LOAMY SAND  
 24"-102" C 10YR4/4 COARSE SAND,  
 20% RIVER GRAVEL UP TO 10"  
 NO GROUNDWATER OBSERVED  
 NO REDOX OBSERVED  
 NO LEDGE OBSERVED  
**SOIL EVALUATOR:**  
 MARK R. ARNOLD, WETLAND ENGINEER  
 CPESC, LICENSED SOIL EVALUATOR #14414

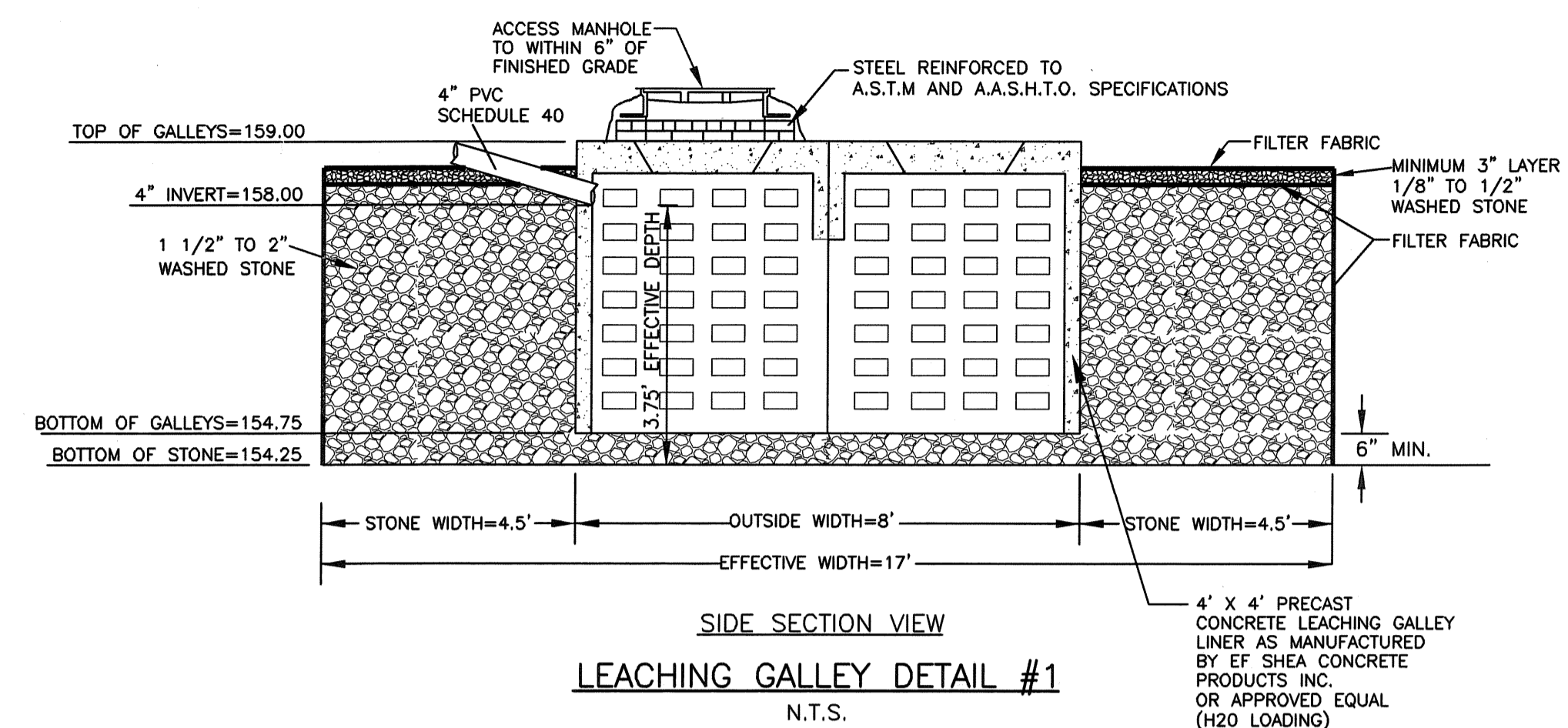


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 SCALE: 1 IN. = 10 FT.  
 DATE: JULY 19, 2021  
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 12/3/21 GARAGE | ES

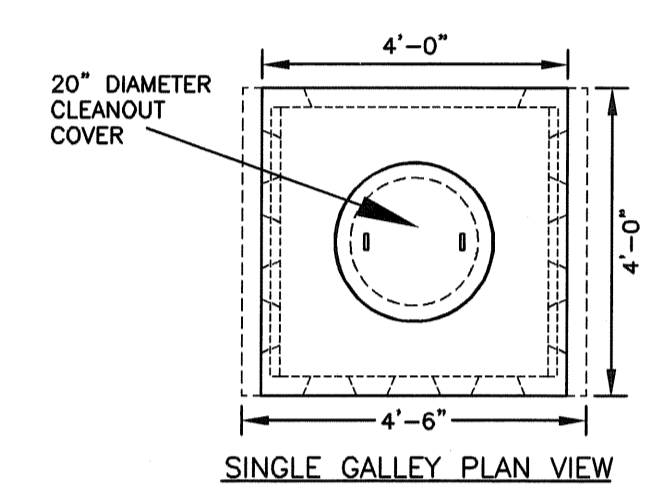
**GENERAL NOTES:**

- ELEVATIONS REFER TO CITY OF NEWTON BASE. BENCHMARK: MAGNETIC PK NAIL SET IN UTILITY POLE ACROSS FROM LOCUS, ELEVATION=159.52.
- THE LOCATION AND ELEVATIONS OF ALL EXISTING UTILITIES SHALL BE CONSIDERED APPROXIMATE AND MUST BE VERIFIED BY THE CONTRACTOR PRIOR TO ANY CONSTRUCTION. THE CONTRACTOR SHALL VERIFY THE LOCATIONS OF ANY CROSSINGS OF PROPOSED AND EXISTING UTILITIES.
- MASSACHUSETTS STATE LAW REQUIRES UTILITY NOTIFICATION AT LEAST THREE BUSINESS DAYS PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL CALL DIG-SAFE AT 811 OR 1-888-DIG-SAFE (1-888-344-7233) IN ORDER TO COMPLY WITH STATE LAW.
- ALL UTILITY CONSTRUCTION SHALL CONFORM TO THE CITY OF NEWTON GENERAL CONSTRUCTION DETAILS, LATEST EDITION, PREPARED AND ISSUED BY THE NEWTON ENGINEERING DEPARTMENT. COPIES MAY BE OBTAINED AT THE OFFICE OF THE CITY ENGINEER.
- NO WORK WITHIN ANY CITY OF NEWTON RIGHT-OF-WAY IS ALLOWED BETWEEN NOVEMBER 15TH AND APRIL 15TH. IF AN EMERGENCY EXISTS OR THERE ARE EXTENUATING CIRCUMSTANCES, THE APPLICANT MAY REQUEST PERMISSION FROM THE CITY ENGINEER, OR DESIGNEE FOR SUCH WORK.
- ALL CONSTRUCTION ACTIVITIES WITHIN THE CITY OF NEWTON RIGHT-OF-WAY MUST FULLY COMPLY WITH ALL CITY OF NEWTON CONSTRUCTION SPECIFICATIONS AS WELL AS 521 CMR 21.00 AND 22.00.
- ALL WORK SHALL BE SUBJECT TO THE INSPECTION BY AND APPROVAL OF THE CITY ENGINEER.
- NO EXCAVATION SHALL BE MADE BY THE CONTRACTOR IN ANY PUBLIC WAY OR UTILITY EASEMENT UNLESS AT LEAST FORTY-EIGHT (48) HOURS, EXCLUSIVE OF SATURDAYS, SUNDAYS AND HOLIDAYS, BEFORE THE PROPOSED EXCAVATION IS TO BE MADE, HE HAS SUBMITTED BY WRITTEN NOTICE OF THE PROPOSED EXCAVATION TO THE FOLLOWING:  
 A. SUCH PUBLIC UTILITY COMPANIES AS SUPPLY GAS, ELECTRICITY AND TELEPHONE SERVE IN THE CITY.  
 B. SUCH PRIVATE COMPANIES AS PROVIDE CABLE TELEVISION SERVICE IN THE CITY.  
 C. CITY OF NEWTON WATER & SEWER DEPARTMENT.  
 SUCH NOTICE SHALL SET FORTH THE STREET NAME AND A REASONABLY ACCURATE DESCRIPTION OF THE LOCATION OF THE EXCAVATION.
- THE CONTRACTOR SHALL PROVIDE CITY OF NEWTON POLICE OFFICERS FOR THE DIRECTION AND CONTROL OF TRAFFIC, AS REQUIRED BY THE CITY ENGINEER.
- NO WORK SHALL BE PERFORMED UNTIL THE NECESSARY PERMITS ARE OBTAINED FROM THE CITY OF NEWTON PUBLIC WORKS DEPARTMENT.
- ALL TRENCHES IN PAVED STREETS SHALL BE TEMPORARILY PATCHED TO THE SAME DEPTH OF THE EXISTING PAVEMENT (BINDER & TOP), OR AS DIRECTED BY THE ENGINEERING SITE INSPECTOR, LAID HOT AND MAINTAINED UNTIL THE PERMANENT PATCH IS INSTALLED.
- WITH THE EXCEPTION OF THE GAS UTILITY SERVICES, ALL UTILITY TRENCHES WITHIN ANY CITY OF NEWTON RIGHT-OF-WAY WILL BE BACKFILLED WITH TYPE IE (EXCAVABLE) CONTROLLED DENSITY FILL, AS SPECIFIED BY THE CITY OF NEWTON ENGINEERING SPECIFICATIONS.
- WARNING SIGNS SHALL CONFORM TO PAGE 12 OF THE CITY OF NEWTON GENERAL CONSTRUCTION DETAILS.
- THE APPLICANT WILL HAVE TO APPLY FOR A STREET OPENING AND UTILITIES CONNECTION PERMITS AS WELL AS A SIDEWALK CROSSING PERMIT WITH THE DPW.
- ALL TRENCH EXCAVATION CONTRACTORS SHALL COMPLY WITH MASSACHUSETTS GENERAL LAWS CHAPTER 82A, TRENCH EXCAVATION SAFETY REQUIREMENTS, TO PROTECT THE GENERAL PUBLIC FROM UNAUTHORIZED ACCESS TO UNATTENDED TRENCHES. TRENCH EXCAVATION PERMIT REQUIRED. THIS APPLIES TO ALL TRENCHES ON PUBLIC AND PRIVATE PROPERTY.
- IN CASES WHERE LEDGE OR BouldERS ARE ENCOUNTERED, EVERETT M. BROOKS CO. INC. WILL NOT BE RESPONSIBLE FOR THE AMOUNT OF ROCK ENCOUNTERED.
- IF ANY PART OF THIS DESIGN IS TO BE ALTERED IN ANY WAY, THE DESIGN ENGINEER, AS WELL AS THE APPROVING AUTHORITIES, SHALL BE NOTIFIED IN WRITING BEFORE CONSTRUCTION.
- THE CONTRACTOR SHALL NOTIFY THE ENGINEERING DIVISION 48 HOURS IN ADVANCE AND SCHEDULE AN APPOINTMENT TO HAVE THE DRAINAGE SYSTEM, WATER & SEWER SERVICES INSPECTED. THE SYSTEM & UTILITIES MUST BE FULLY EXPOSED FOR THE INSPECTOR. ONCE THE INSPECTOR IS SATISFIED, THE SYSTEM & UTILITIES MAY THEN BE BACKFILLED.
- PRIOR TO AN OCCUPANCY PERMIT BEING ISSUED, AN AS-BUILT PLANS SHOULD BE SUBMITTED TO THE ENGINEERING DIVISION IN BOTH DIGITAL FORMAT AND HARD COPY. THE PLAN SHOULD SHOW ALL UTILITIES AND DRAINAGE (INCLUDING SWING-TIES), EASEMENTS AND FINAL GRADING.
- THE CONTRACTOR IS RESPONSIBLE FOR NOTIFYING THE DESIGN ENGINEER FOR INSPECTIONS OR AS-BUILT LOCATIONS. EVERETT M. BROOKS CO. INC. WILL NOT PROVIDE AS-BUILT CERTIFICATIONS TO UNINSPECTED BACKFILLED UTILITIES. A MINIMUM OF 48 HOURS NOTICE IS REQUIRED PRIOR TO INSPECTIONS.

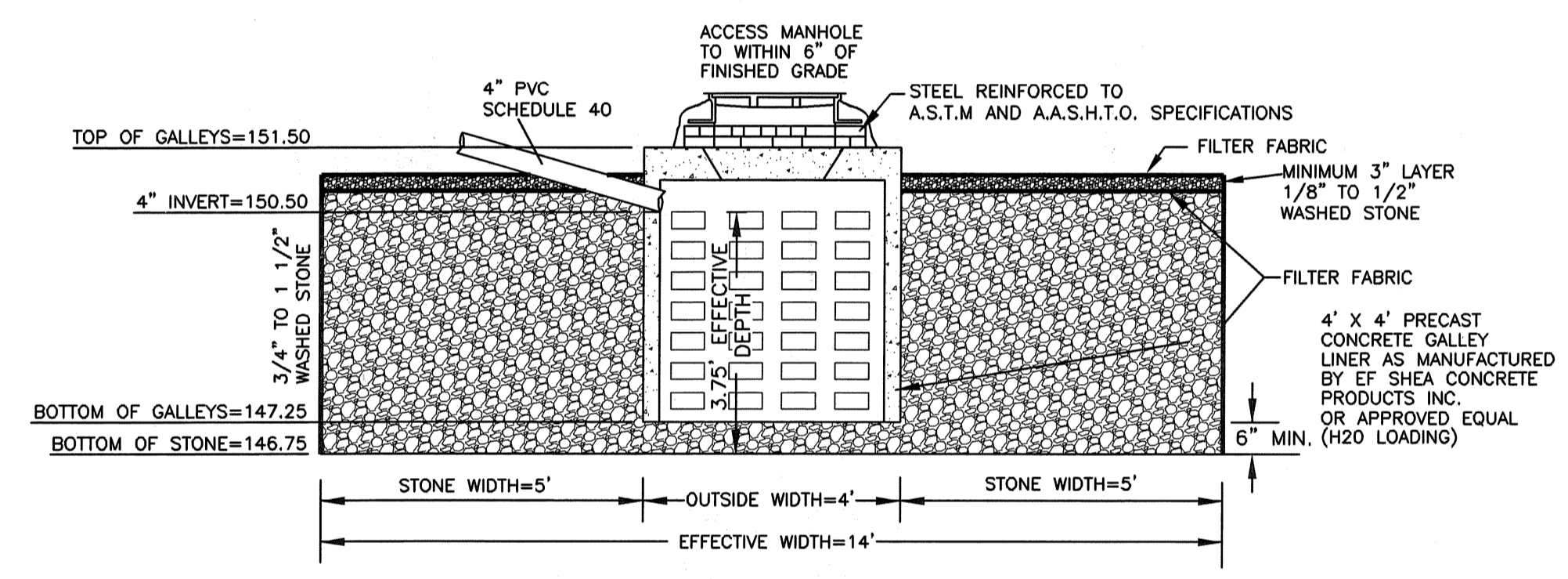
- APPROVAL OF THIS PLAN BY THE CITY OF NEWTON ENGINEERING DIVISION IMPLIES THAT THE PLAN MEETS THE MINIMAL DESIGN STANDARDS OF THE CITY OF NEWTON. HOWEVER, THE ENGINEERING DIVISION MAKES NO REPRESENTATIONS AND ASSUMES NO RESPONSIBILITY FOR THE DESIGN(S) IN TERMS OF SUITABILITY FOR THE PARTICULAR SITE CONDITIONS OR OF THE FUNCTIONALITY OR PERFORMANCE OF ANY ITEMS CONSTRUCTED IN ACCORDANCE WITH THE DESIGN(S). THE CITY OF NEWTON ASSUMES NO LIABILITIES FOR DESIGN ASSUMPTIONS, ERRORS OR OMISSIONS BY THE ENGINEER OF RECORD.
- PROPOSED SEWER PIPE SHALL BE 6" PVC SDR 35
- PROPOSED DOMESTIC WATER SERVICE SHALL BE 1" TYPE K COPPER.
- PROPOSED DRAIN PIPES SHALL BE A MINIMUM OF 4" PVC PIPING. ANY DRAIN PIPES WITH LESS THAN FOUR (4) FEET OF COVER UNDER ROADWAYS AND DRIVEWAYS SHALL BE PVC SCHEDULE 80 OR DUCTILE IRON (H2O LOADING).
- THE NEW SEWER SERVICE AND/OR STRUCTURES SHALL BE PRESSURE TESTED OR VIDEOTAPE AFTER FINAL INSTALLATION IS COMPLETE. METHOD OF FINAL INSPECTION SHALL BE DETERMINED SOLELY BY THE ENGINEERING INSPECTOR FROM THE CITY OF NEWTON. ALL SEWER MANHOLES SHALL BE VACUUM TESTED IN ACCORDANCE WITH CITY OF NEWTON SPECIFICATIONS. THE SEWER SERVICE WILL NOT BE ACCEPTED UNTIL ONE OF THE TWO METHODS STATED ABOVE IS COMPLETED. ALL TESTING MUST BE WITNESSED BY A REPRESENTATIVE OF THE ENGINEERING DIVISION.
- THE EXISTING WATER & SEWER SERVICES SHALL BE CUT AND CAPPED AT THE MAIN AND COMPLETELY REMOVED FROM THE SITE AND PROPERLY BACKFILLED. THE ENGINEERING DIVISION MUST INSPECT THE WORK; FAILURE TO HAVE THIS WORK INSPECTED MAY RESULT IN THE DELAY OF ISSUANCE OF THE UTILITY CONNECTION PERMIT.
- ALL OF THE ROOF RUNOFF FROM THE PROPOSED ROOF SURFACES SHALL BE COLLECTED BY GUTTERS AND DIRECTED TO THE PROPOSED DRAINAGE SYSTEM.
- ALL TOPSOIL, SUBSOIL OR IMPERVIOUS SOIL MUST BE EXCAVATED AND REMOVED BELOW THE LEACHING AREA AND TO A DISTANCE 5' LATERALLY IN ALL DIRECTIONS BEYOND THE SIDES OF THE AREA. BACKFILL IS REQUIRED WITH A CLEAN GRANULAR SAND, FREE FROM ORGANIC MATTER AND DELETERIOUS SUBSTANCES. THE SAND SHALL HAVE A PERCOLATION RATE OF 2 MINUTES PER INCH OR FASTER.
- WHENEVER PROPOSED SEWER PIPE DOES NOT HAVE A MINIMUM OF 10' HORIZONTAL SEPARATION OR IS NOT AT LEAST 18" VERTICALLY BELOW THE EXISTING OR PROPOSED WATER PIPE, THE SEWER PIPE SHALL BE ENCASED IN CONCRETE.
- THIS PLAN IS THE RESULT OF AN INSTRUMENT SURVEY DONE ON THE GROUND JANUARY 2019.
- ALL PROPOSED WALLS BY OTHERS.
- CONSTRUCTION FENCING AND SILT FENCING SHALL BE PLACED AROUND THE ENTIRE SITE, AS REQUIRED.
- THE ENGINEER OF RECORD IS RESPONSIBLE FOR THE ON-SITE INSPECTION(S) OF ALL SUBSURFACE STRUCTURES. THIS INCLUDES BUT IS NOT LIMITED TO DRAINAGE, UTILITIES (INCLUDING SEWER PIPE SLOPE), ROOF LEADER COLLECTION SYSTEM, TRENCH DRAINS, MANHOLES, ETC. ENGINEER OF RECORD MUST ALSO CONDUCT "BOTTOM OF HOLE" INSPECTION(S) PRIOR TO SUBSURFACE DRAINAGE SYSTEM(S) BEING INSTALLED.
- PRIOR TO THE ENGINEERING DIVISION RECOMMENDING THAT A CERTIFICATE OF OCCUPANCY BE ISSUED, AN AS-BUILT PLAN MUST BE SUBMITTED. THE AS-BUILT PLAN MUST SHOW DIMENSIONAL TIES FROM FIXED POINTS (FOUNDATION CORNERS) TO ALL SUBSURFACE COMPONENTS AS WELL AS FINAL GRADING. THE AS-BUILT PLAN MUST BE STAMPED, SIGNED AND DATED BY THE ENGINEER OF RECORD.
- 5 YEAR MORATORIUM, IF AT TIME OF CONSTRUCTION THE ROADWAY IS UNDER A 5-YEAR MORATORIUM, THE ROADWAY MUST BE MILLED AND PAVED GUTTER-TO-GUTTER FOR A DISTANCE OF 25 FEET IN EACH DIRECTION FROM THE OUTERMOST TRENCHES.
- A DEEP HOLE SOIL TEST SHALL BE COMPLETED BY QA LICENSED SOIL EVALUATOR IN THE AREA OF PROPOSED DRAINAGE SYSTEM #2 TO DETERMINE THE SOIL CONDITIONS AND GROUNDWATER ELEVATIONS. THE SYSTEM SHALL THEN BE MODIFIED, IF REQUIRED.



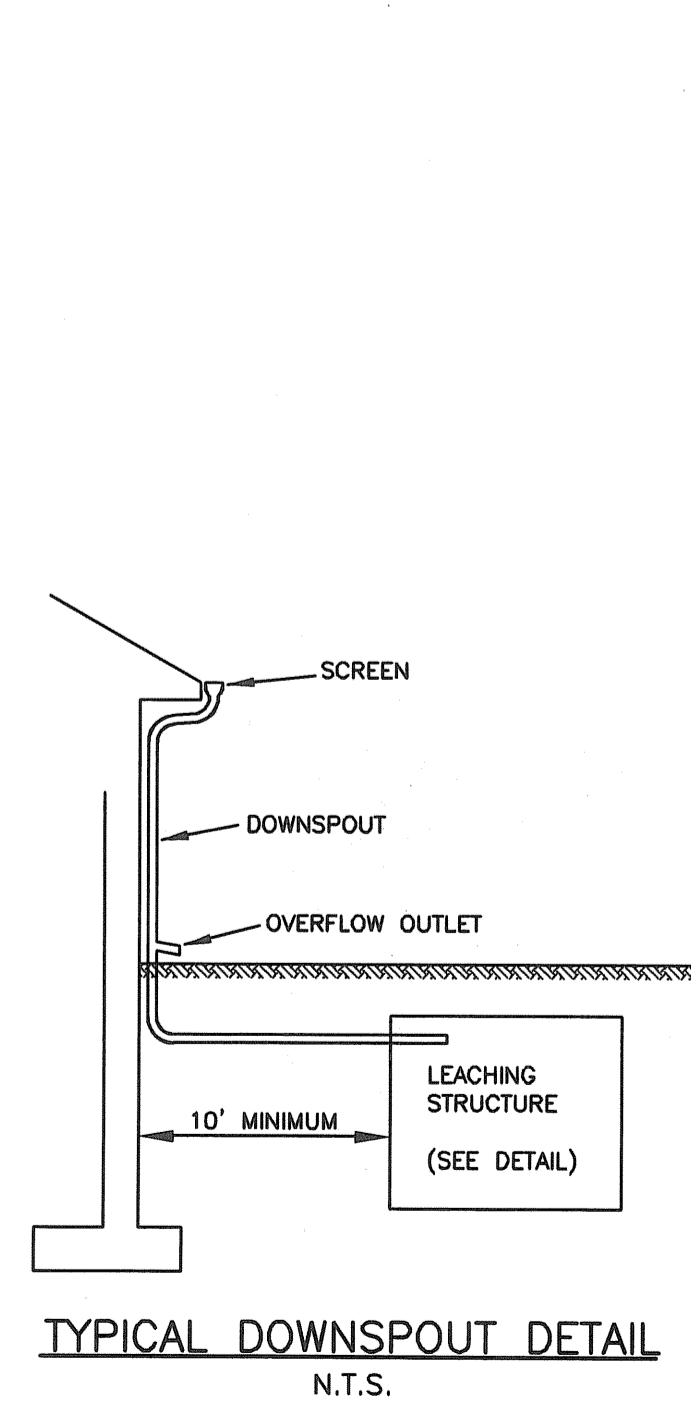
SIDE SECTION VIEW  
**LEACHING GALLEY DETAIL #1**  
 N.T.S.



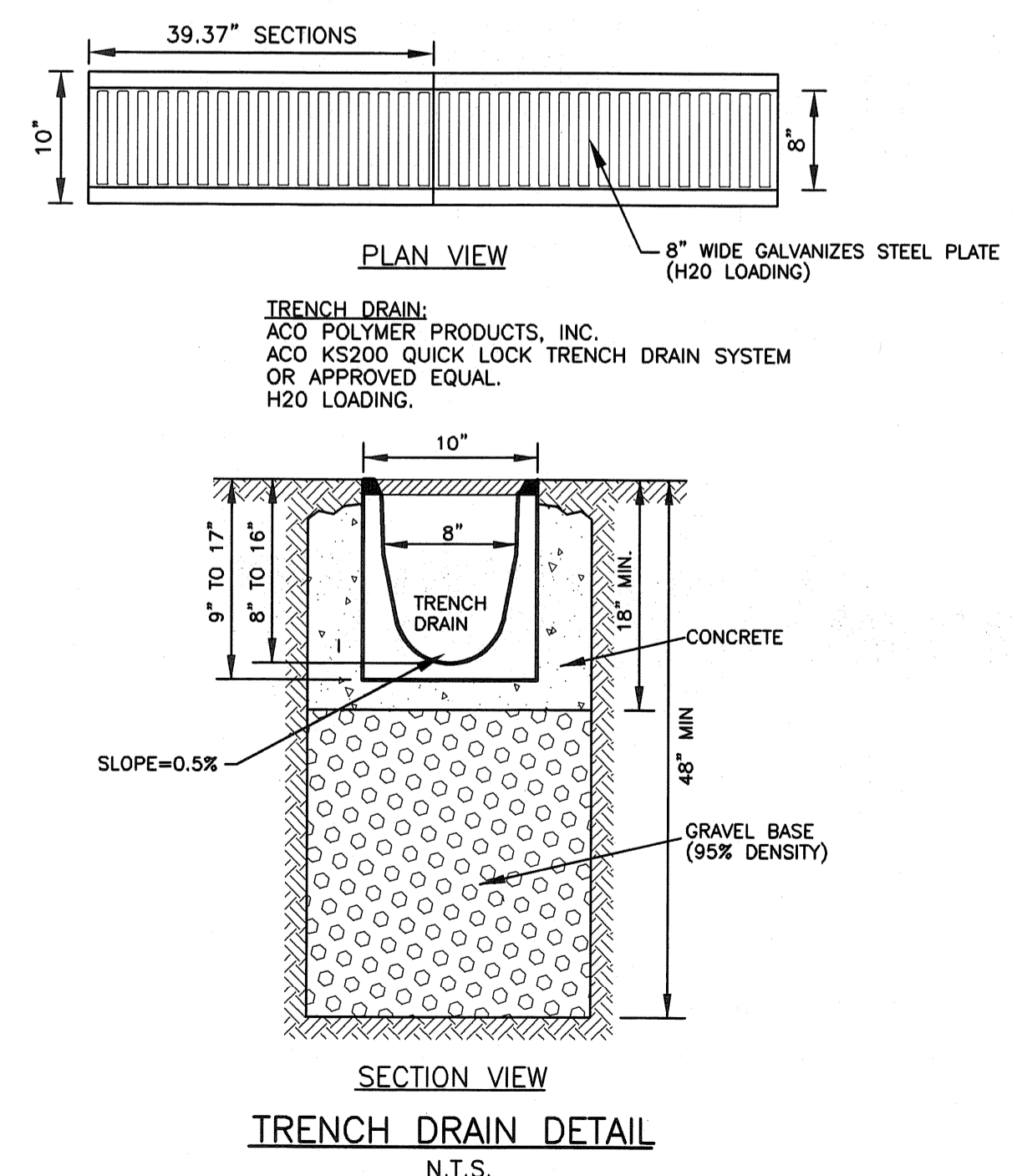
SINGLE GALLEY PLAN VIEW



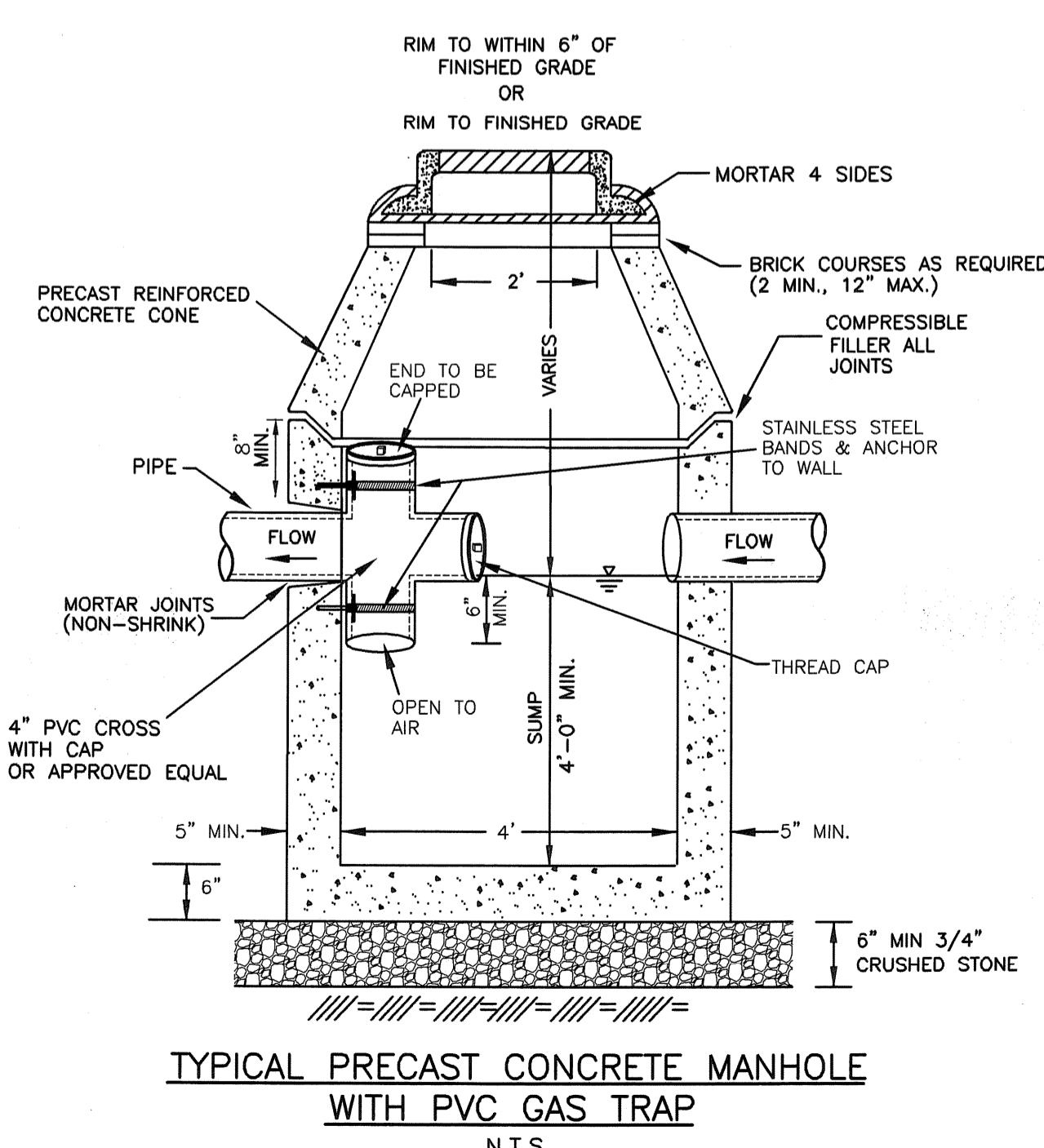
END VIEW  
**LEACHING GALLEY DETAIL #2**  
 N.T.S.



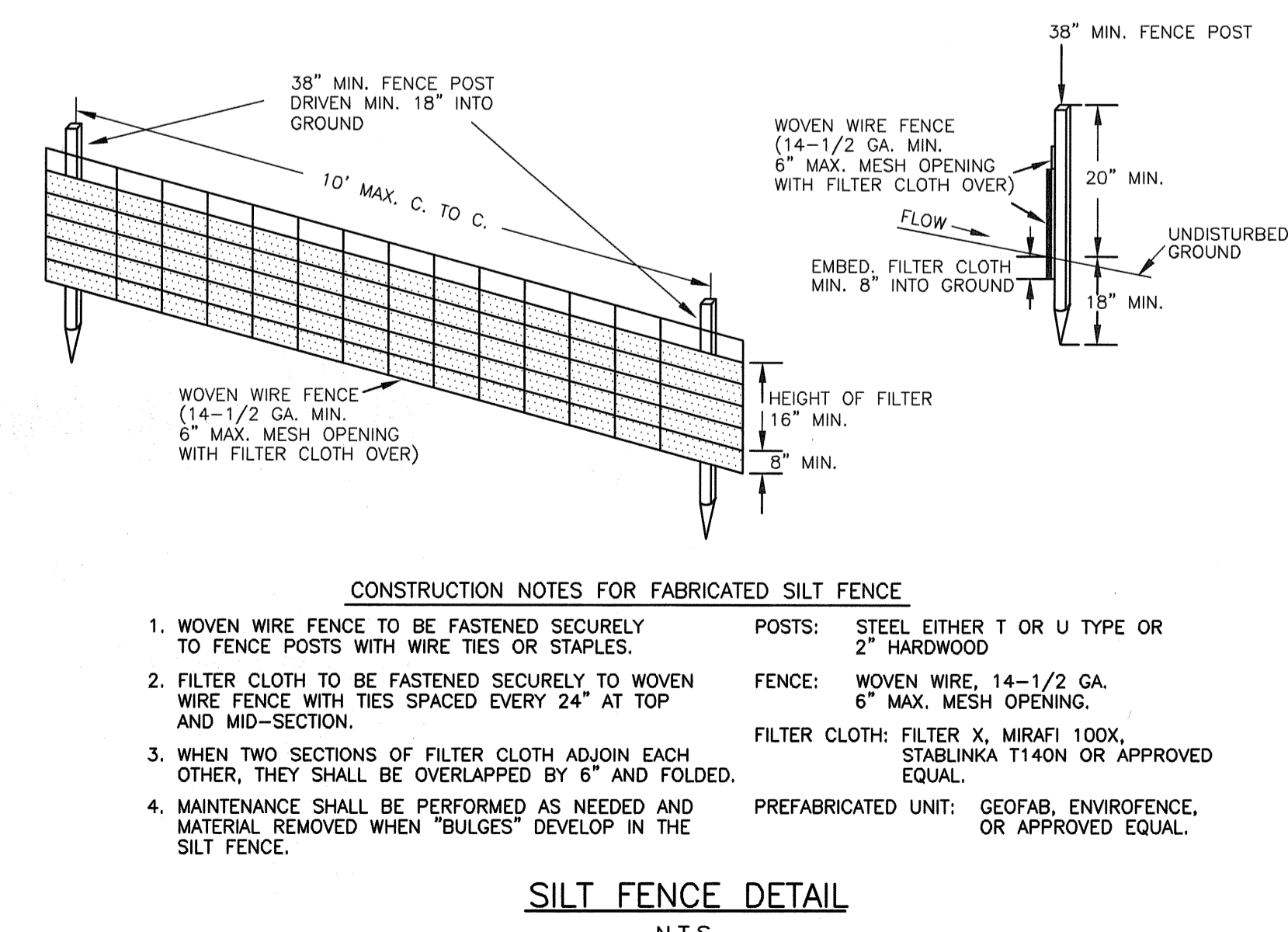
TYPICAL DOWNSPOUT DETAIL  
 N.T.S.



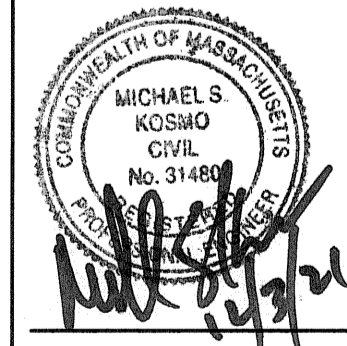
TRENCH DRAIN DETAIL  
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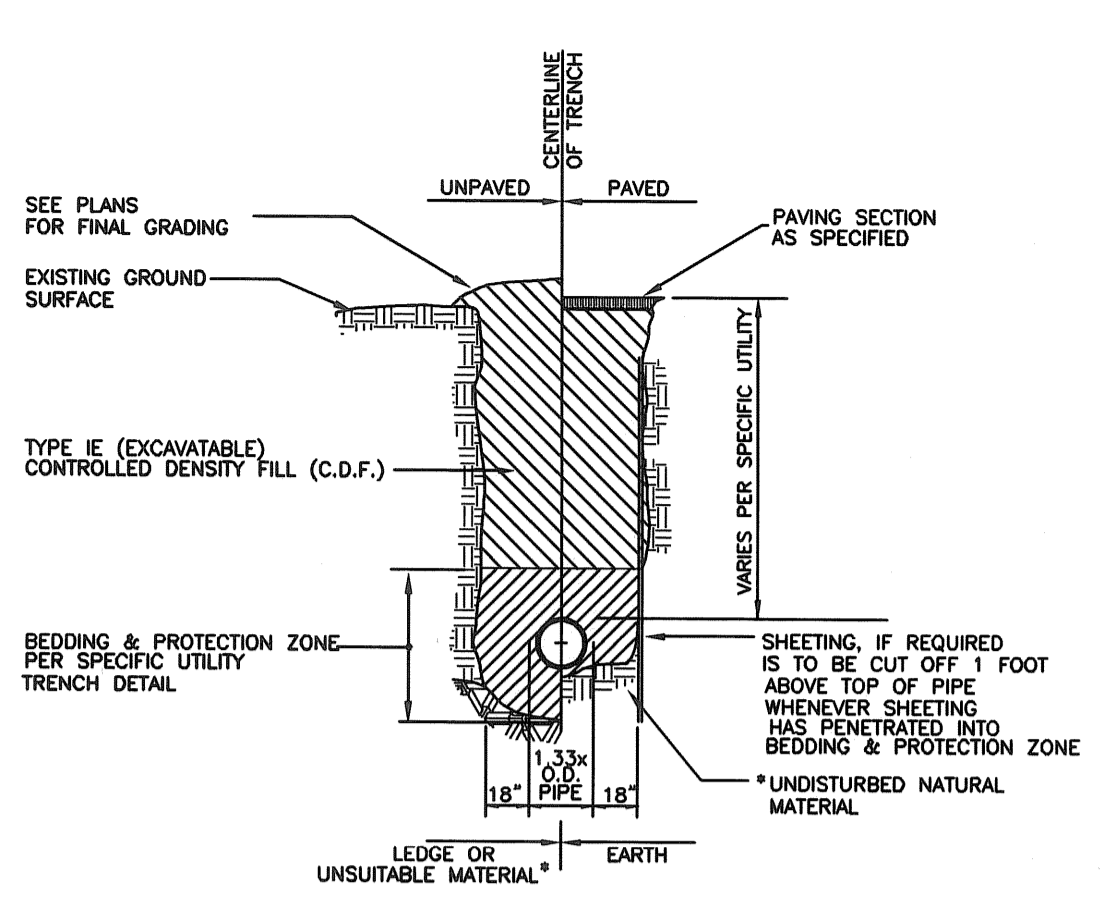
TYPICAL PRECAST CONCRETE MANHOLE  
 WITH PVC GAS TRAP  
 N.T.S.



CONSTRUCTION NOTES FOR FABRICATED SILT FENCE  
 1. WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES. POSTS: STEEL EITHER T OR U TYPE OR 2" HARDWOOD  
 2. FILTER CLOTH TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID-SECTION. FENCE: WOVEN WIRE, 14-1/2 GA. 6" MAX. MESH OPENING.  
 3. WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER, THEY SHALL BE OVERLAPPED BY 6" AND FOLDED. FILTER CLOTH: FILTER X, MIRAF1 100X, STABLINKA T140N OR APPROVED EQUAL.  
 4. MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE. PREFABRICATED UNIT: GEOFAB, ENVIROFENCE, OR APPROVED EQUAL.  
**SILT FENCE DETAIL**  
 N.T.S.

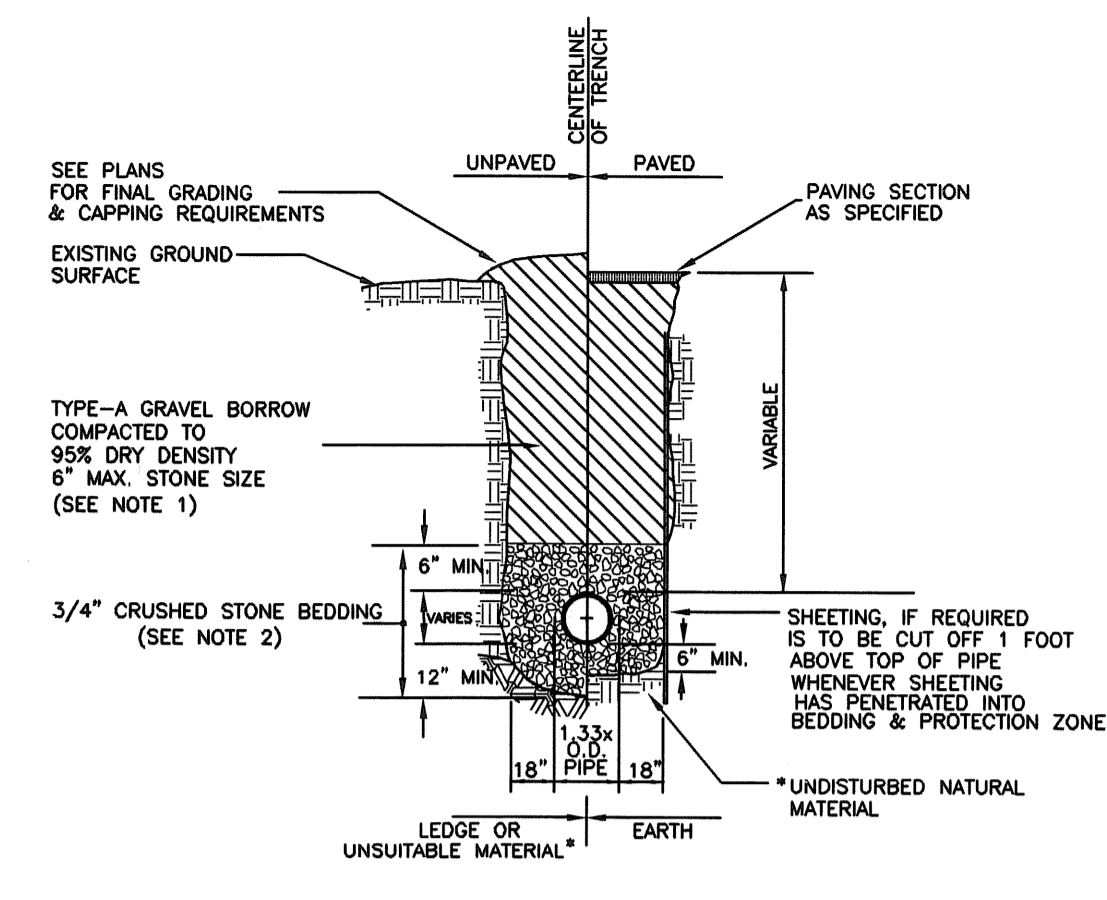


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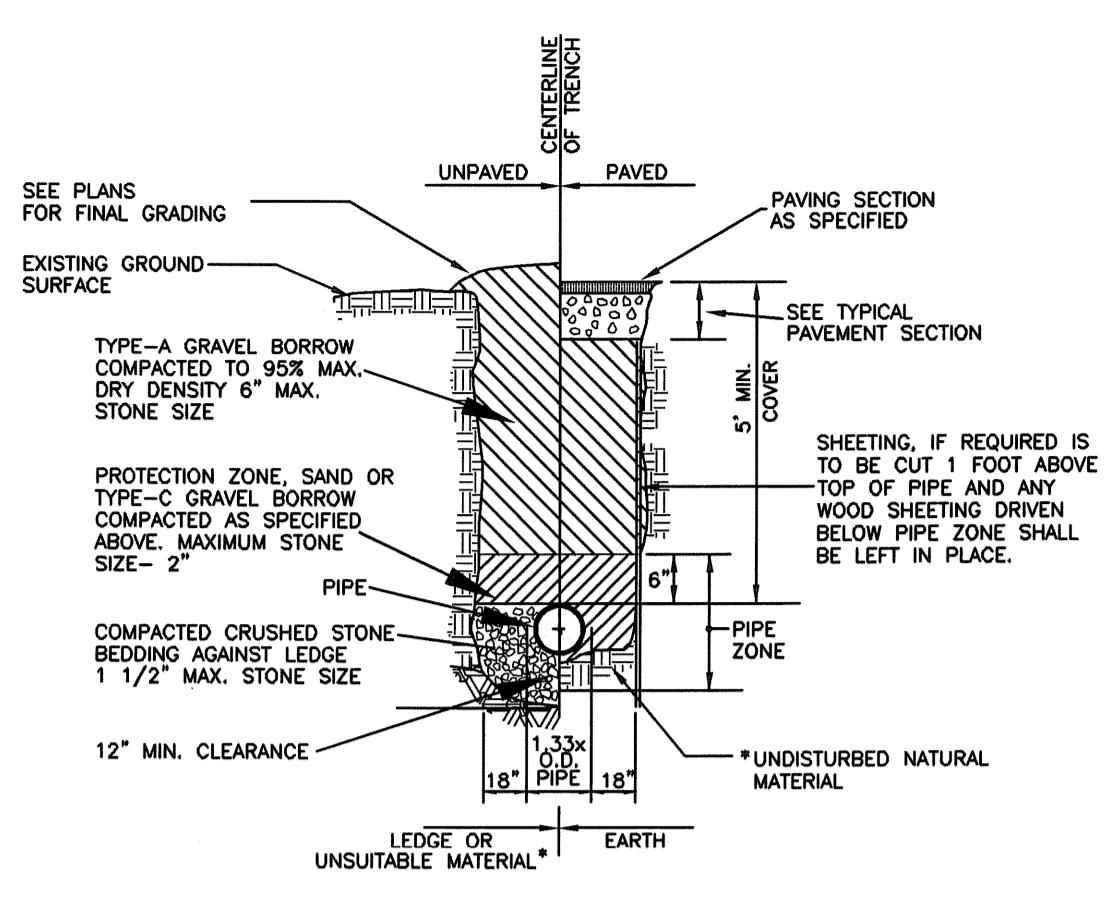
\* SUITABILITY OF MATERIAL IS TO BE DETERMINED BY THE CITY OF NEWTON.

**TYPICAL C.D.F. TRENCH DETAIL**  
 N.T.S.



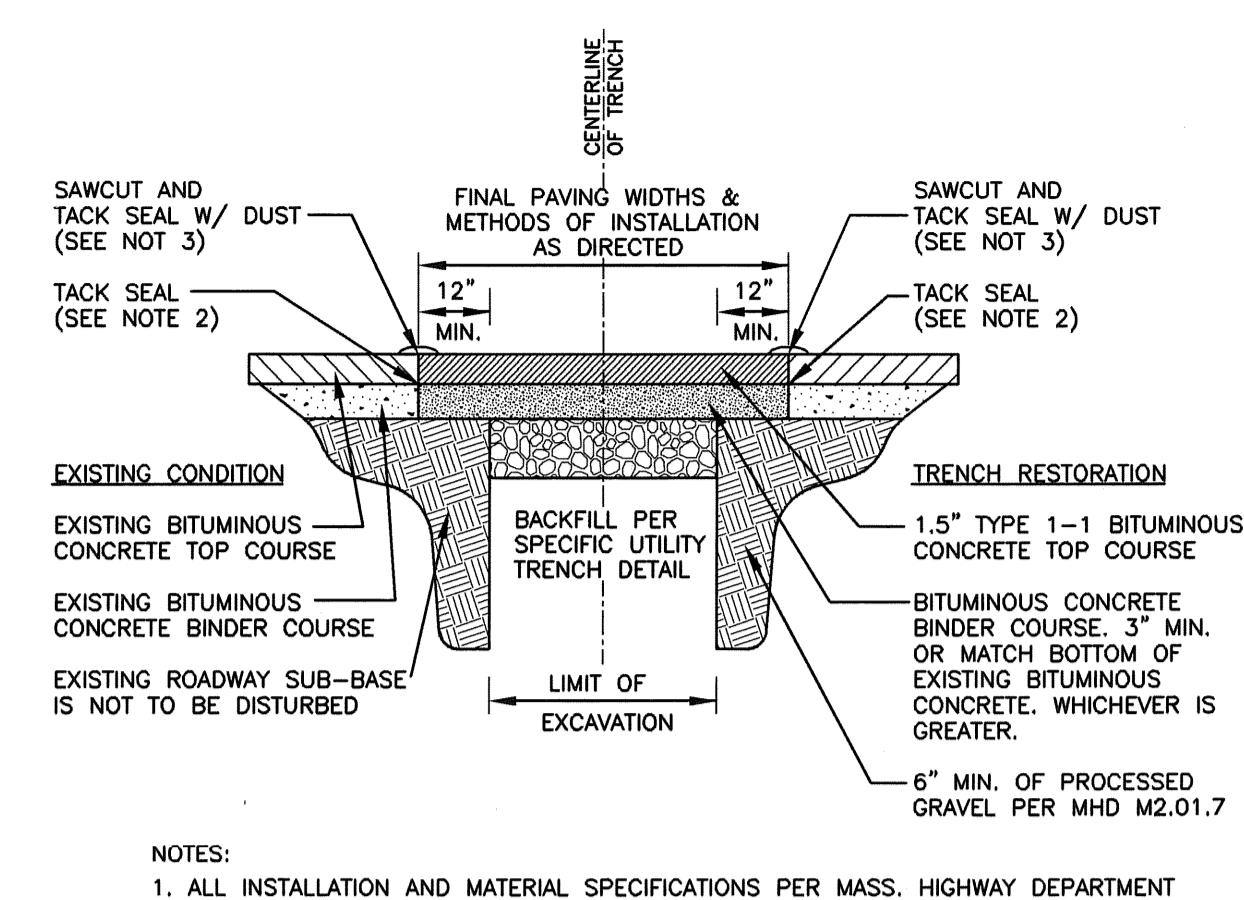
\* SUITABILITY OF MATERIAL IS TO BE DETERMINED BY THE CITY OF NEWTON.  
 1. GRAVEL BORROW SHALL CONFORM TO MASS HIGHWAY SPECIFICATION M1.03.0  
 2. CRUSHED STONE BEDDING SHALL CONFORM TO MASS HIGHWAY SPECIFICATION M2.01.1

**GRAVITY SEWER TRENCH DETAIL**  
 N.T.S.



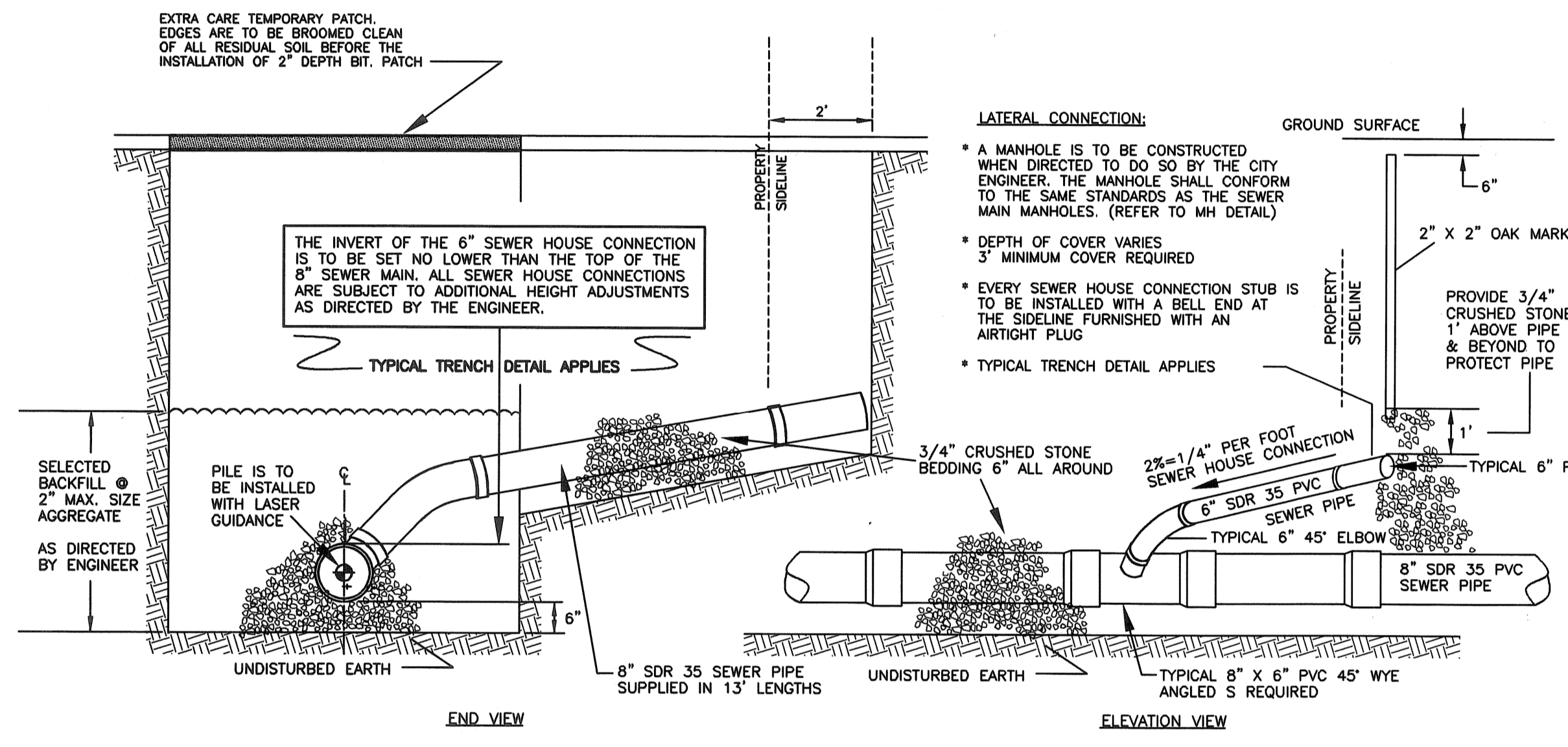
\* SUITABILITY OF MATERIAL IS TO BE DETERMINED BY THE CITY OF NEWTON.  
 1. GRAVEL BORROW SHALL CONFORM TO MASS HIGHWAY SPECIFICATION M1.03.0  
 2. CRUSHED STONE BEDDING SHALL CONFORM TO MASS HIGHWAY SPECIFICATION M2.01.1

**TYPICAL WATER TRENCH DETAIL**  
 N.T.S.

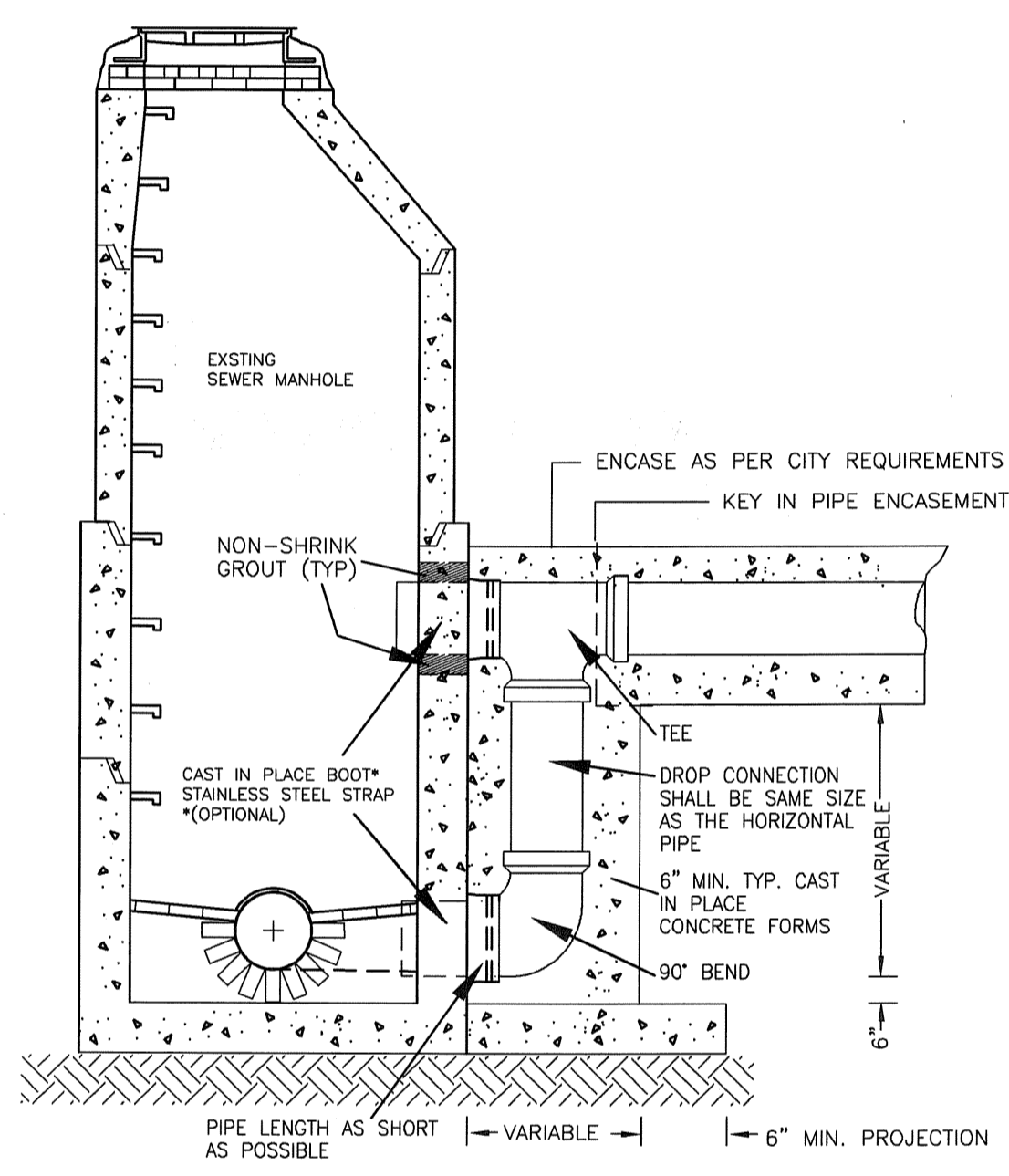


NOTES:  
 1. ALL INSTALLATION AND MATERIAL SPECIFICATIONS PER MASS. HIGHWAY DEPARTMENT STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGES, 1988 AS AMENDED.  
 2. ALL EXPOSED BITUMINOUS CONCRETE IS TO BE TACKED PER MHD PRIOR TO NEW BITUMINOUS CONCRETE INSTALLATIONS.  
 3. ALL EXPOSED JOINTS ARE TO BE SEALED WITH TACK AND STONE DUST.

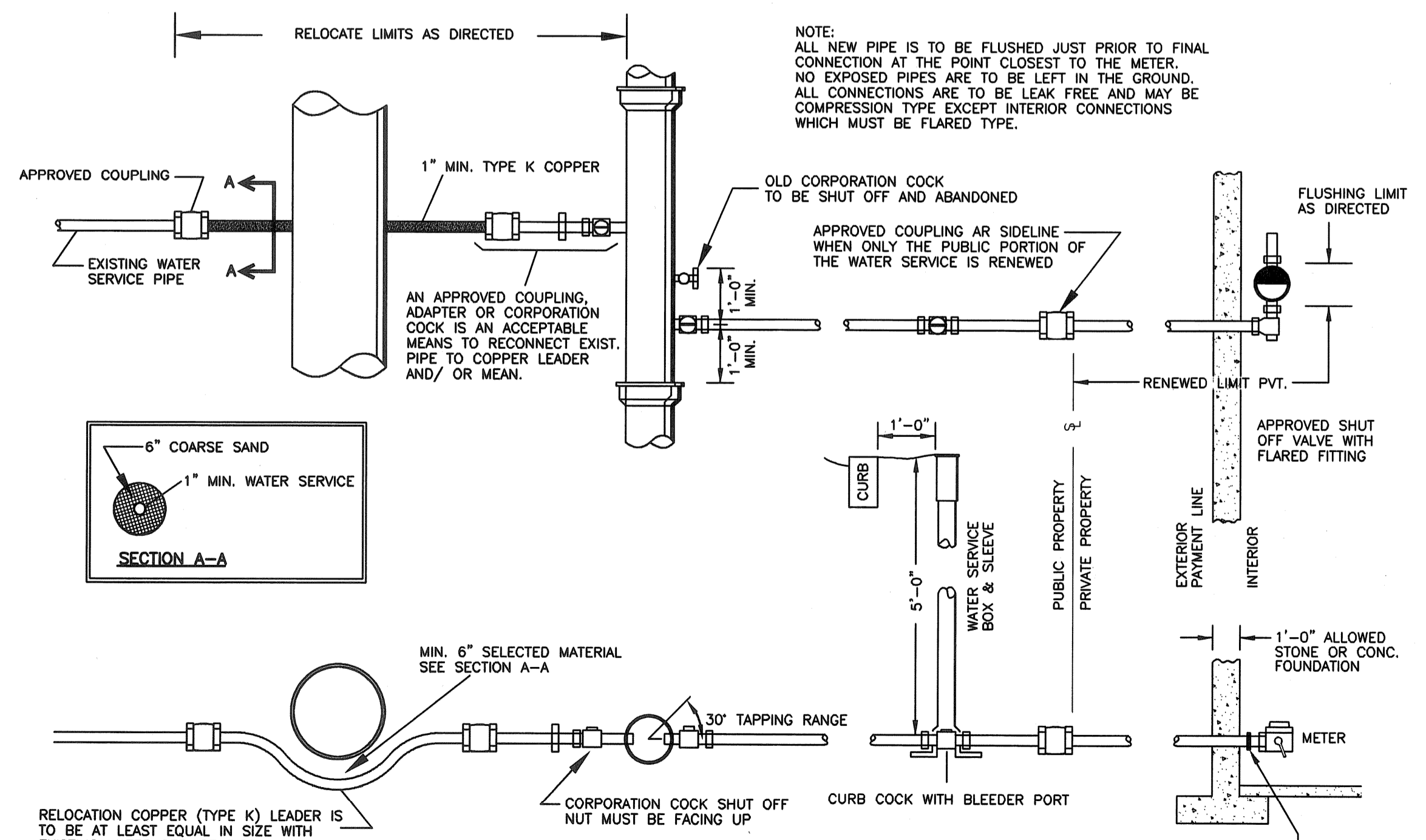
**TYPICAL TRENCH REPAIR & PAVEMENT SECTION DETAIL**  
 N.T.S.



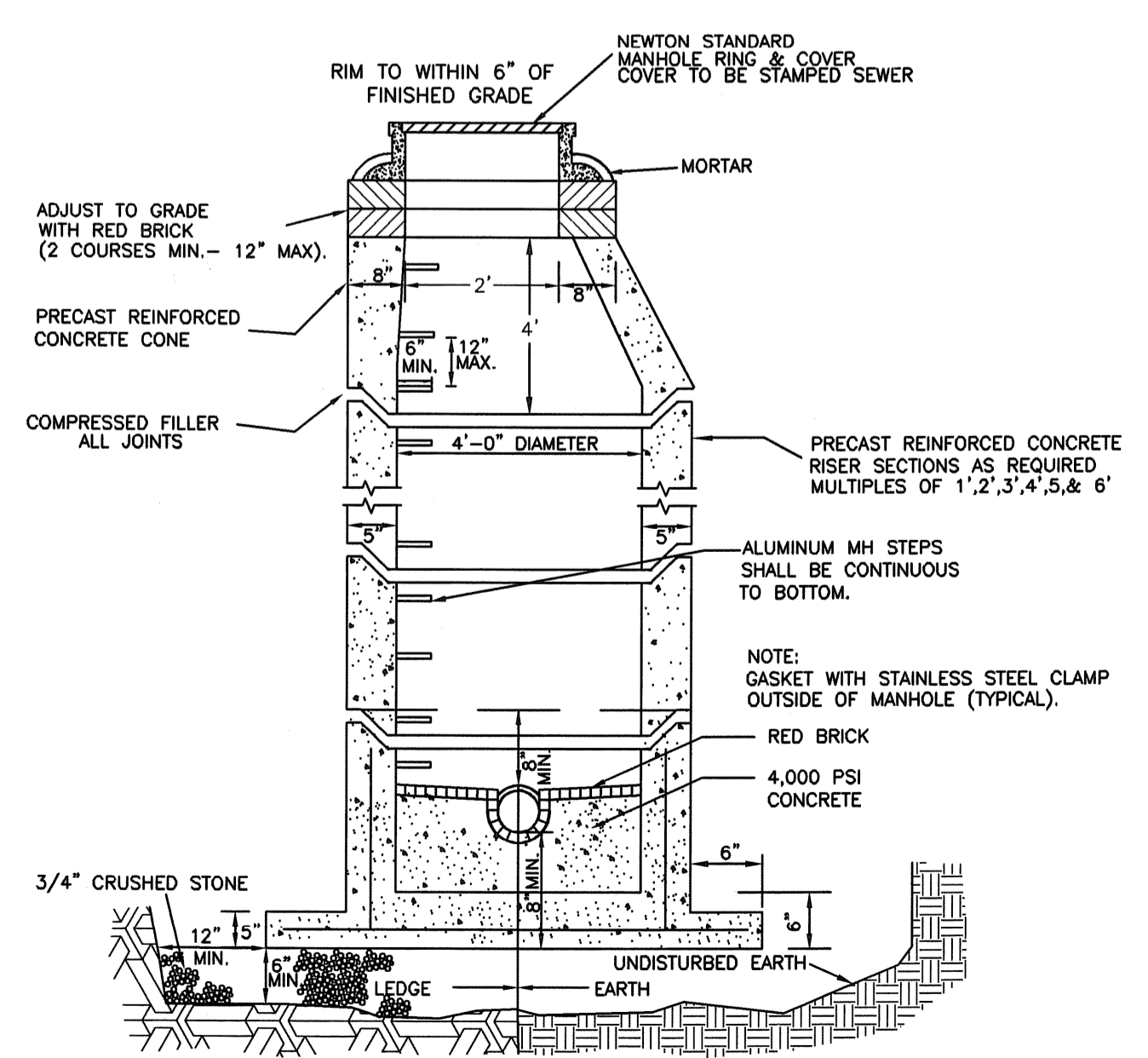
**TYPICAL PVC SEWER HOUSE CONNECTION**  
 N.T.S.



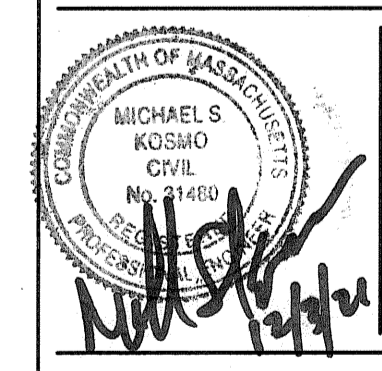
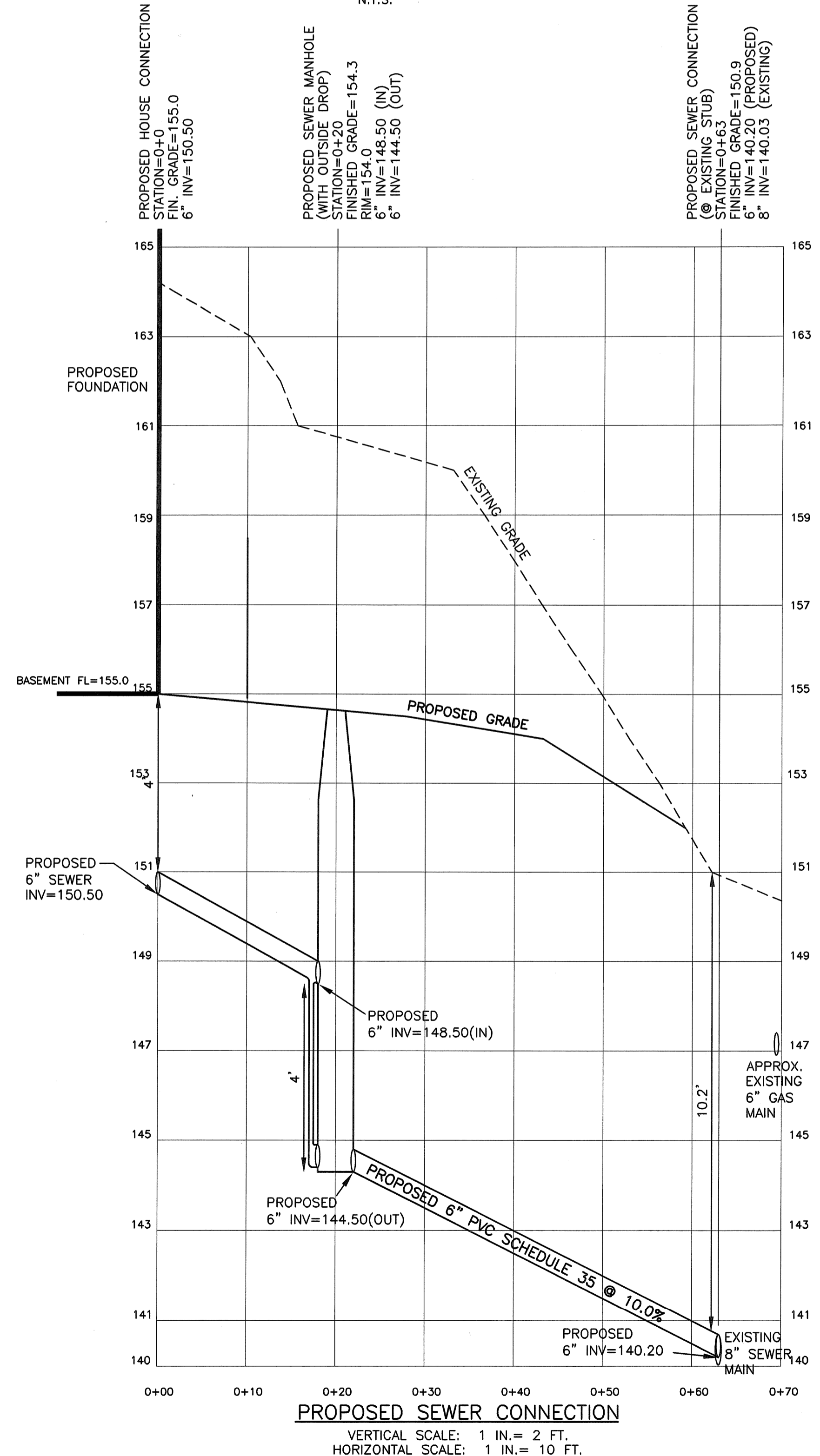
**SEWER OUTSIDE DROP DETAIL**  
 N.T.S.



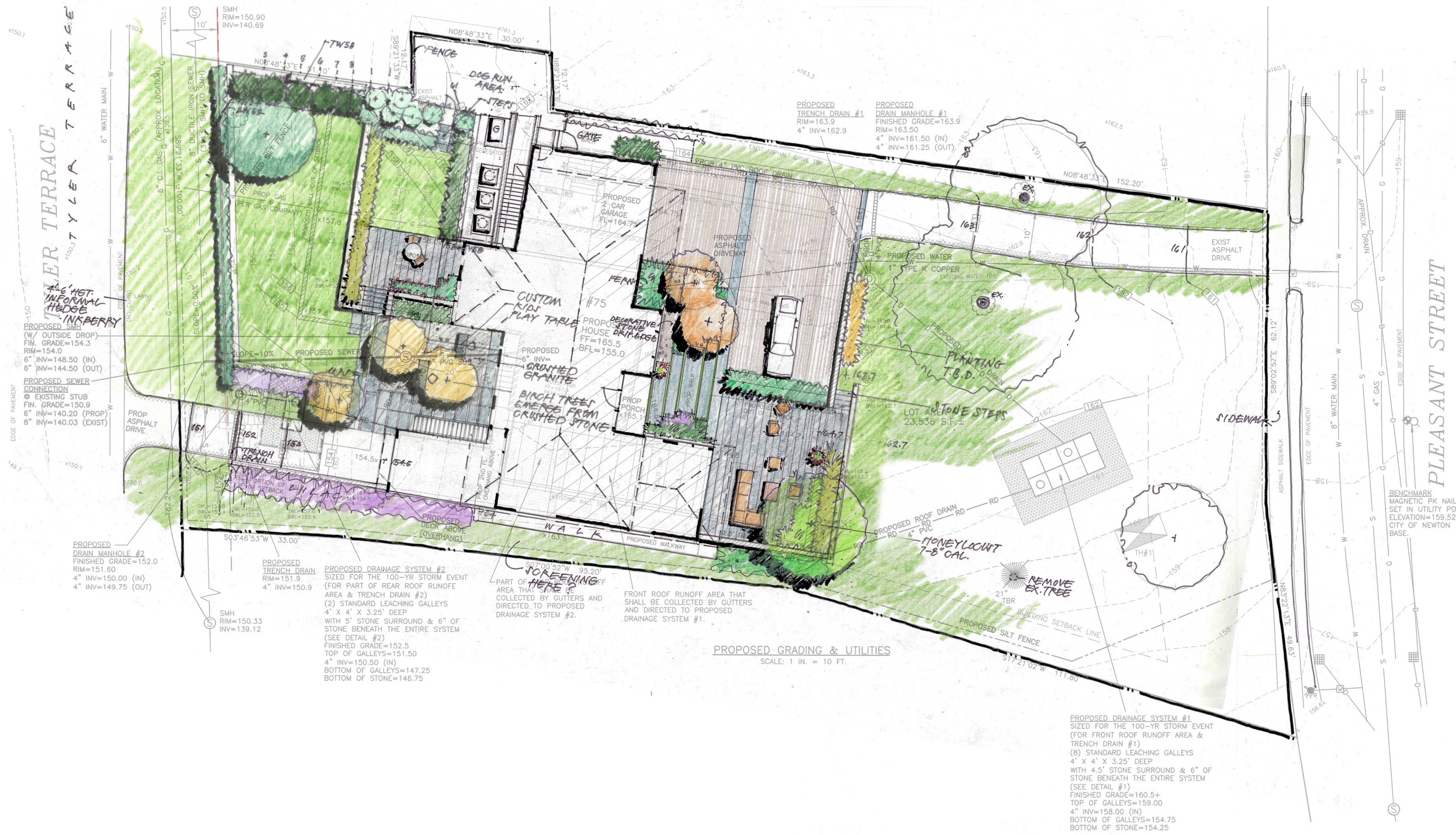
**TYPICAL WATER SERVICE CONFIGURATION**  
 N.T.S.



**TYPICAL PRECAST CONCRETE SEWER MANHOLE**  
 N.T.S.



**SITE PLAN OF LAND IN NEWTON, MA**  
 75 PLEASANT STREET  
 SCALE: 1 IN. = 10 FT.  
 DATE: JULY 19 2021  
 DRAWN: ES  
 CHECK: MSK & BB  
 REVISIONS:  
 9/30/21 ARCH COMMENTS/ CHANGES ES  
 11/10/21 ENGINEERING MEMO ES  
 12/3/21 GARAGE ES



PROPOSED GRADING & UTILITIES  
SCALE: 1 IN. = 10 FT.

SMH  
RIM=150.90  
INV=140.69

PROPOSED  
TRENCH DRAIN #1  
RIM=163.9  
4" INV=162.9

PROPOSED  
DRAIN MANHOLE #1  
FINISHED GRADE=163.9  
RIM=163.50  
4" INV=161.50 (IN)  
4" INV=161.25 (OUT)

PROPOSED  
6" INV=149.75  
TRENCH DRAIN  
FINISHED GRADE=154.3  
RIM=154.0  
6" INV=148.50 (IN)  
6" INV=144.50 (OUT)

PROPOSED  
DRAIN MANHOLE #2  
FINISHED GRADE=152.0  
RIM=151.60  
4" INV=150.00 (IN)  
4" INV=149.75 (OUT)

PROPOSED  
TRENCH DRAIN  
RIM=151.9  
4" INV=150.9

PROPOSED DRAINAGE SYSTEM #2  
SIZED FOR THE 100-YR STORM EVENT  
(FOR PART OF REAR ROOF RUNOFF  
AREA & TRENCH DRAIN #2)  
(2) STANDARD LEACHING GALLEYS  
4' X 4' X 3.25' DEEP  
WITH 5' STONE SURROUND & 6" OF  
STONE BENEATH THE ENTIRE SYSTEM  
(SEE DETAIL #2)  
FINISHED GRADE=152.5  
TOP OF GALLEYS=151.50  
4" INV=150.50 (IN)  
BOTTOM OF GALLEYS=147.25  
BOTTOM OF STONE=146.75

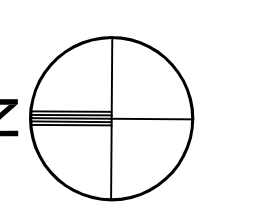
PART OF REAR  
SCREENING  
AREA THAT SHALL  
BE COLLECTED BY  
GUTTERS AND  
DIRECTED TO  
PROPOSED  
DRAINAGE SYSTEM #2.

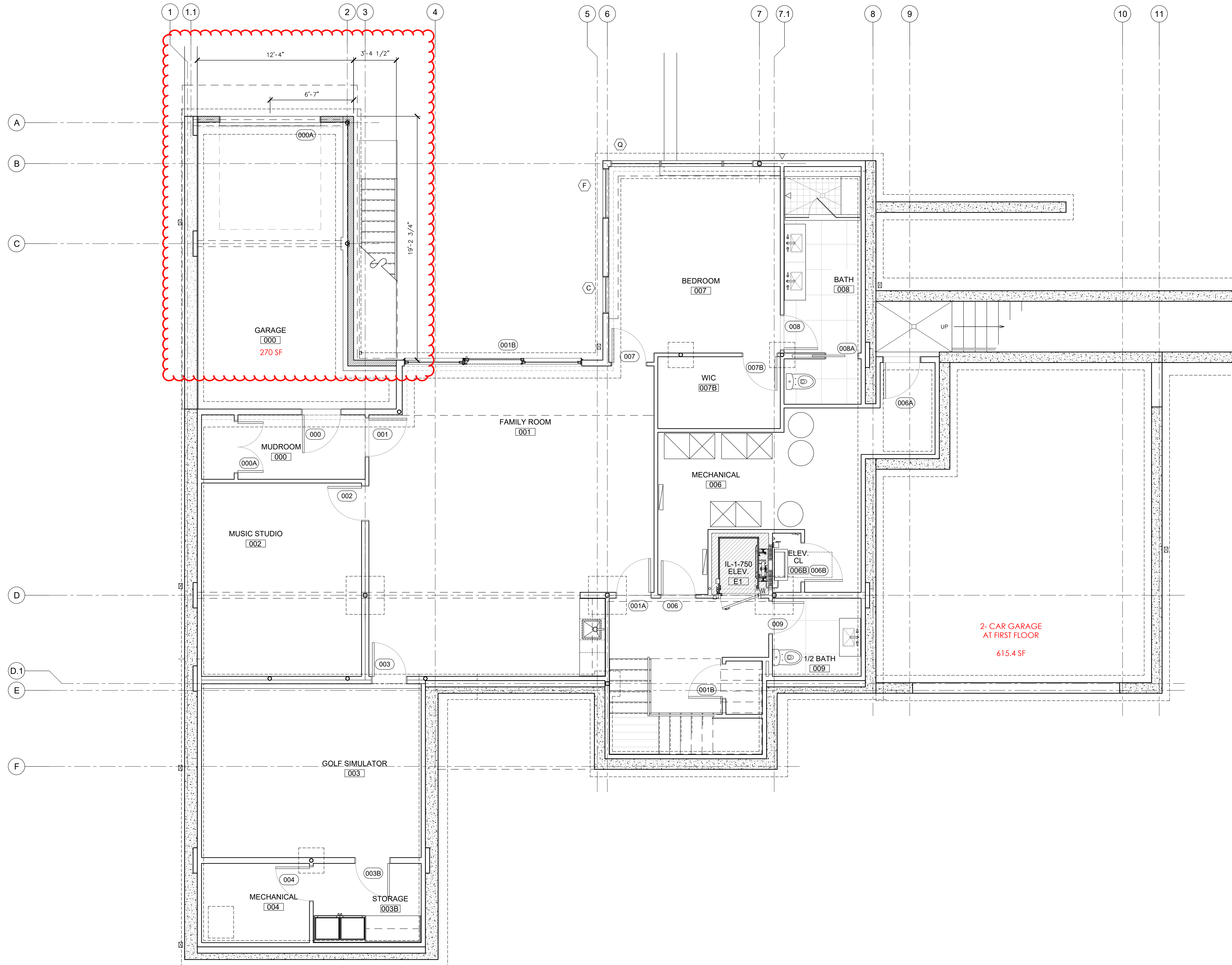
FRONT ROOF RUNOFF AREA THAT  
SHALL BE COLLECTED BY GUTTERS  
AND DIRECTED TO PROPOSED  
DRAINAGE SYSTEM #1.

PROPOSED DRAINAGE SYSTEM #1  
SIZED FOR THE 100-YR STORM EVENT  
(FOR FRONT ROOF RUNOFF AREA &  
TRENCH DRAIN #1)  
(6) STANDARD LEACHING GALLEYS  
4' X 4' X 3.25' DEEP  
WITH 4.5' STONE SURROUND & 6" OF  
STONE BENEATH THE ENTIRE SYSTEM  
(SEE DETAIL #1)  
FINISHED GRADE=160.5+  
TOP OF GALLEYS=159.00  
4" INV=158.00 (IN)  
BOTTOM OF GALLEYS=154.75  
BOTTOM OF STONE=154.25

SCALE: 1" = 10'-0"  
12.15.2021

HO KIM RESIDENCE | CONCEPTUAL SITE PLAN\_REVISD 2021\_12\_03 SPECIAL PERMIT APPLICATION





**flavin**  
ARCHITECTS

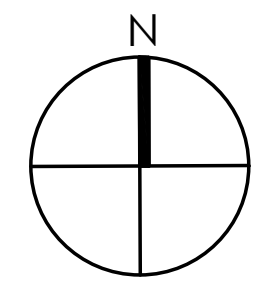
175 Portland St #6, Boston, MA 02114  
617.227.6717  
flavinarchitects.com

EVERETT M BROOKS CO.  
SURVEYORS & ENGINEERS  
49 LEXINGTON STREET #78  
WEST NEWTON, MA 02465

WEBB STRUCTURAL SERVICES, INC.  
STRUCTURAL ENGINEER  
670 MAIN STREET  
READING, MA 02540

STAMP

PROJECT NORTH



PROJECT  
**HO KIM RESIDENCE**

PROJECT ADDRESS  
75 PLEASANT STREET  
NEWTON, MA 02459

PROJECT: 20081

Issue	Date
50% CD SET	21 JUL 2021
100% CD SET	27 SEP 2021
SPECIAL PERMIT	03 DEC 2021

Approved by \_\_\_\_\_ Date \_\_\_\_\_

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Project Name/Number: HO KIM RESIDENCE/20081  
Cad File Name: 20081-PLAN-LL.dwg

**LOWER LEVEL FLOOR PLAN**

**A1.00**

STAMP

PROJECT NORTH

PROJECT  
**HO KIM  
RESIDENCE**

PROJECT ADDRESS  
75 PLEASANT STREET  
NEWTON, MA 02459

PROJECT: 20081

Issue	Date
50% CD SET	21 JUL 2021
100% CD SET	27 SEP 2021
SPECIAL PERMIT	03 DEC 2021

Approved by \_\_\_\_\_ Date \_\_\_\_\_

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Project Name/Number: HO KIM RESIDENCE/20081  
Cad File Name: 20081-ELEVATIONS - Garage 000.dwg

**EXTERIOR  
ELEVATIONS**

**A2.00**





STAMP

PROJECT NORTH

PROJECT  
**HO KIM  
RESIDENCE**

PROJECT ADDRESS  
75 PLEASANT STREET  
NEWTON, MA 02459

PROJECT: 20081

Issue	Date
50% CD SET	21 JUL 2021
100% CD SET	27 SEP 2021
SPECIAL PERMIT	03 DEC 2021

Approved by \_\_\_\_\_ Date \_\_\_\_\_

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Project Name/Number: HO KIM RESIDENCE/20081  
Cad File Name: 20081-ELEVATIONS - Garage 000.dwg

**EXTERIOR  
ELEVATIONS**

**A2.01**

