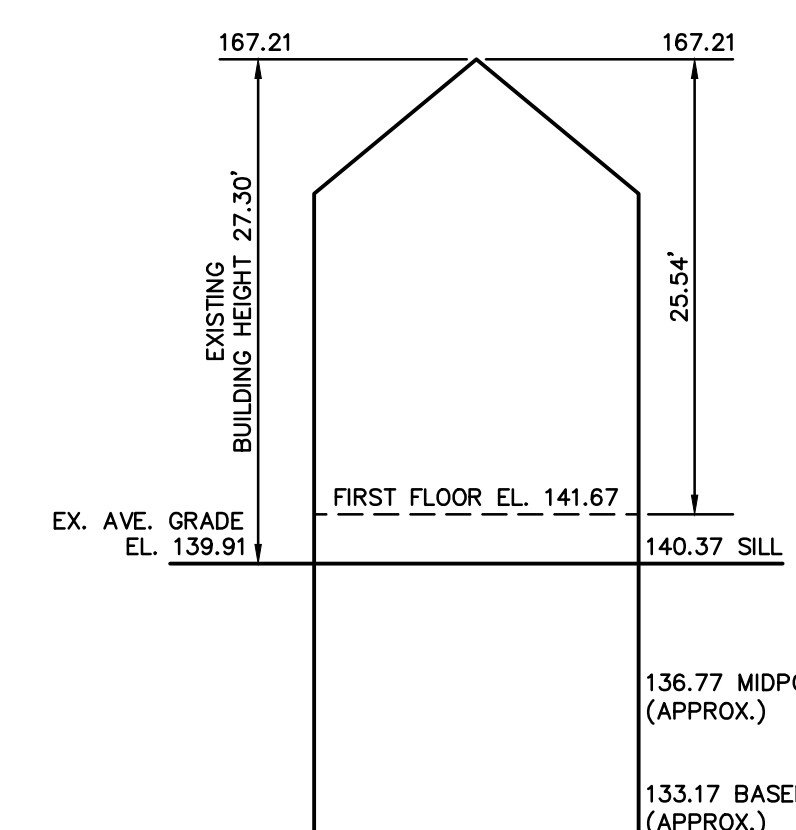
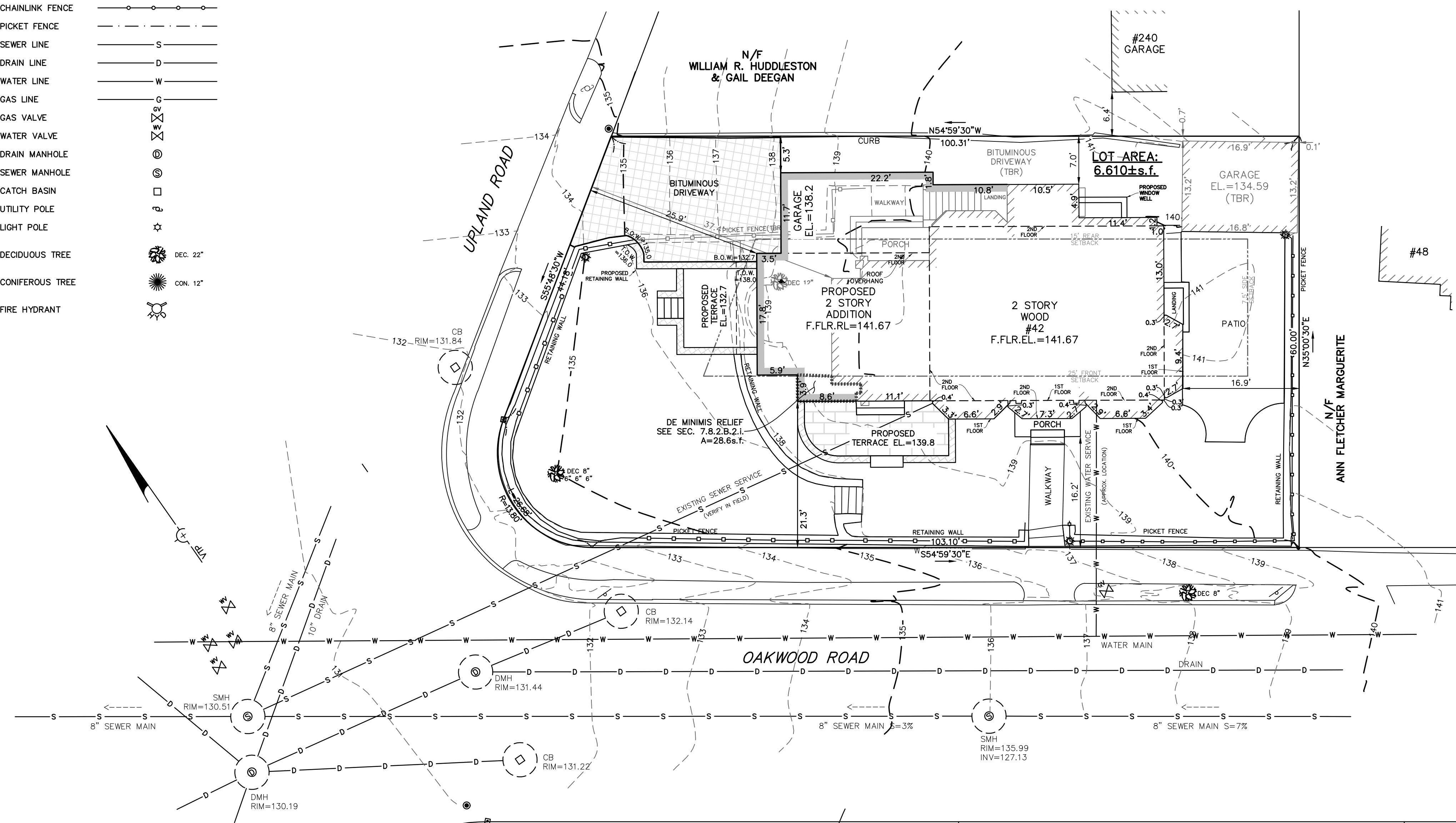


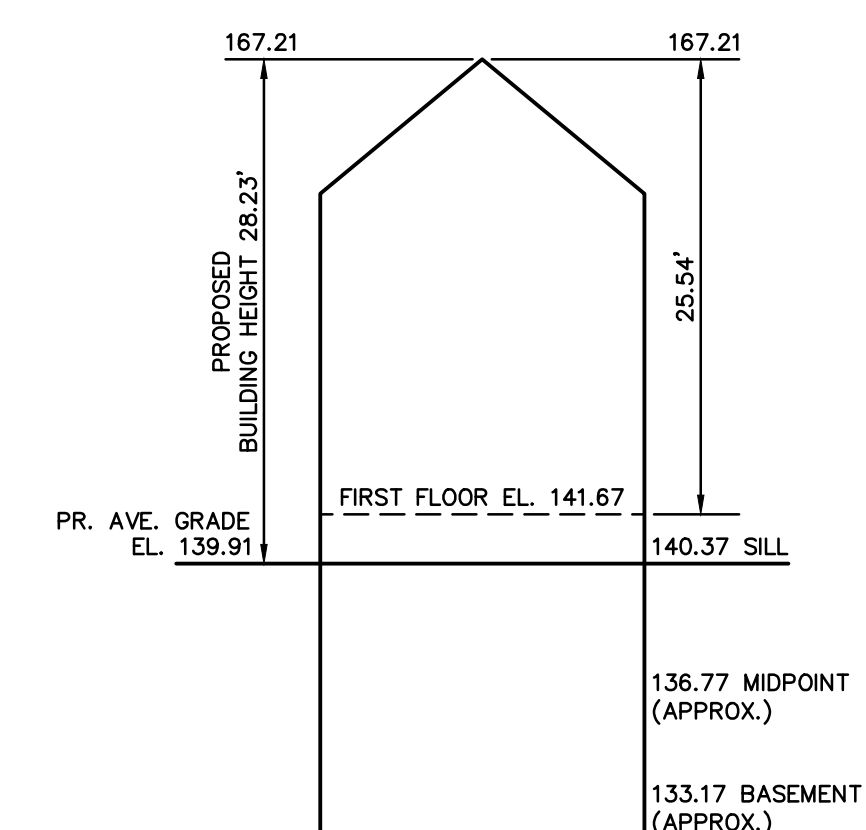
220131_1p2.dwg (2-2020)

LEGEND

BUILDING	
PROPERTY LINE W/ BEARING DISTANCE	S81°56'34"E 116.23'
CONTOUR	- 70 -
STOCKADE FENCE	
CHAINLINK FENCE	
PICKET FENCE	
SEWER LINE	S
DRAIN LINE	D
WATER LINE	W
GAS LINE	G
GAS VALVE	
WATER VALVE	
DRAIN MANHOLE	
SEWER MANHOLE	
CATCH BASIN	
UTILITY POLE	
LIGHT POLE	
DECIDUOUS TREE	DEC. 22'
CONIFEROUS TREE	CON. 12'
FIRE HYDRANT	



EXISTING BUILDING HEIGHT
NOT TO SCALE



EXISTING BUILDING HEIGHT
NOT TO SCALE

Length Weighted Mean Existing Conditions Average Grade Calculation

A Segment	B Length Of Segment In Feet	C Height of High Point of Segment	D Height of Low Point of Segment	E=(C+D)/2 Average Segment Height	F=BxE
1	9.30	139.17	138.72	138.95	1292.19 Sq. Ft.
2	6.60	139.17	139.08	139.13	918.23 Sq. Ft.
3	5.30	139.56	139.16	139.36	738.61 Sq. Ft.
4	9.50	138.94	138.93	138.94	1319.88 Sq. Ft.
5	5.30	139.76	139.26	139.51	739.40 Sq. Ft.
6	6.60	139.75	139.32	139.54	920.93 Sq. Ft.
7	9.40	141.11	140.55	140.83	1323.80 Sq. Ft.
8	13.00	140.56	140.54	140.55	1827.15 Sq. Ft.
9	11.40	140.70	140.00	140.35	1599.99 Sq. Ft.
10	10.50	140.95	140.74	140.85	1478.87 Sq. Ft.
11	7.30	140.84	140.17	140.51	1025.69 Sq. Ft.
12	9.00	140.06	139.48	139.77	1257.93 Sq. Ft.
13	15.40	139.81	139.48	139.65	2150.53 Sq. Ft.
Total	118.60				16593.20 Sq. Ft.

Total Column F / Total Column B = Average Grade
Average Grade: 139.91'

Length Weighted Mean Proposed Conditions Average Grade Calculation

A Segment	B Length Of Segment In Feet	C Height of High Point of Segment	D Height of Low Point of Segment	E=(C+D)/2 Average Segment Height	F=BxE
1	19.70	139.80	139.80	139.80	2754.06 Sq. Ft.
2	6.60	139.17	139.08	139.13	918.23 Sq. Ft.
3	5.30	139.56	139.16	139.36	738.61 Sq. Ft.
4	9.50	138.94	138.93	138.94	1319.88 Sq. Ft.
5	5.30	139.76	139.26	139.51	739.40 Sq. Ft.
6	6.60	139.75	139.32	139.54	920.93 Sq. Ft.
7	9.40	141.11	140.55	140.83	1323.80 Sq. Ft.
8	13.00	140.56	140.54	140.55	1827.15 Sq. Ft.
9	11.40	140.70	140.00	140.35	1599.99 Sq. Ft.
10	21.30	140.95	140.03	140.49	2992.44 Sq. Ft.
11	22.20	140.03	138.12	139.08	3087.47 Sq. Ft.
12	11.70	137.40	137.40	137.40	1607.58 Sq. Ft.
		1.20	137.00	137.00	164.40 Sq. Ft.
		3.00	132.70	132.70	1791.45 Sq. Ft.
		3.00	136.50	136.50	409.50 Sq. Ft.
Total	159.70				19993.93 Sq. Ft.

Total Column F / Total Column B = Average Grade
Average Grade: 125.20'

IMPERVIOUS AREA CALCULATION

	EXISTING	PROPOSED
BUILDING	1,348.5s.f.	1897.9
PORCH	72.9s.f.	26.1s.f.
GARAGE	222.4s.f.	
DRIVEWAY	898.1s.f.	473.7s.f.
PATIO, TERRACE WITH WALLS AND STEPS	407.9s.f.	764.9s.f.
WALKWAY AND STEPS	170.5s.f.	95.4s.f.
WALLS, CURBS, ETC	401.7s.f.	365.3s.f.
TOTAL	3,522.0s.f.	3,623.3s.f.

INCREASE IN IMPERVIOUS AREA: 101.3s.f.
LOT AREA: 6,610.0s.f.
4% OF LOT AREA (OR 400s.f. MAX.): 264.4s.f.
USE 400s.f. MAX.
101.3s.f. < 264.4s.f. ---> DRAINAGE NOT REQUIRED.

ZONING CHART
NEWTON, MASSACHUSETTS
ZONE: SR-2 (OLD) SUBMISSION: BUILDING PERMIT

REGULATION	REQUIRED	EXISTING	PROPOSED
LOT AREA	10,000s.f.	6,610±s.f.	N/C
LOT FRONTAGE	80.0'	173.96'	N/C
FRONT SETBACK **	25.0'	16.2' *	N/C
SIDE SETBACK	7.5'	16.9'	N/C
REAR SETBACK	15.0'	7.0'	5.3'
BUILDING HEIGHT	36.0'	27.30'	28.23'
AVERAGE GRADE	-	139.91	138.98
LOT COVERAGE	30.0%	24.9%	29.1%
OPEN SPACE	50.0%	61.6%	63.7%

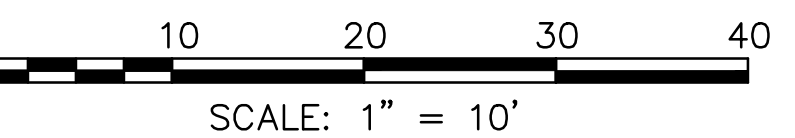
* DOES NOT MEET REQUIREMENTS
** SEE AVERAGE FRONT SETBACK CALCULATION

AVERAGE FRONT SETBACK

ROAD	SETBACK
UPLAND ROAD	
#240 UPLAND ROAD	28.5'
#37 OAKWOOD ROAD	28.5'
OAKWOOD ROAD	
#48 OAKWOOD ROAD	34.2'
#249 UPLAND ROAD	28.8'

ALL SETBACKS ARE GREATER THAN 25', THEREFORE USE 25' SETBACK

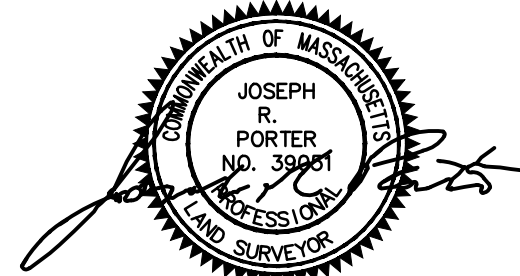
MIDDLESEX SOUTH COUNTY REGISTRY OF DEEDS
DEED REFERENCE
BOOK 56454 PAGE 522
PLAN REFERENCE
PLAN BOOK 176 PAGE Z
OWNER OF RECORD
DANIEL J. KOLODNER AND
LAUREN E. KOHL



TOPOGRAPHIC SITE PLAN
NEWTON, MASSACHUSETTS

SHOWING PROPOSED CONDITIONS AT
#42 OAKWOOD ROAD
SCALE: 1in.=10ft. DATE: NOVEMBER 22, 2021
REVISED: MARCH 16, 2022

PROJECT: 220131



VTP
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INC.

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