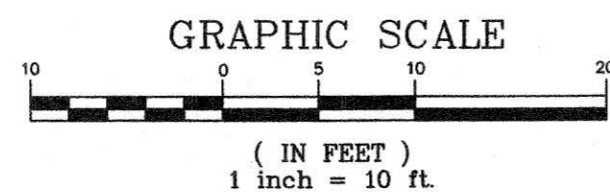


NOTE:
 THE SURFACE EVIDENCE OF THE UTILITIES SHOWN HAS BEEN LOCATED BY FIELD SURVEY. THE LINEWORK REPRESENTING ALL UNDERGROUND STRUCTURES AND PIPES HAS BEEN SHOWN HEREON IN ITS APPROXIMATE LOCATION BASED ON AVAILABLE RECORD PLANS. THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.



ASSESSOR'S MAP 134 NE
 SECTION 51
 BLOCK 43
 LOT 3
 NEIGHBORHOOD 5A

ZONING - MR1 OLD
 MINIMUM LOT AREA: 7,000 SF
 MINIMUM DEPTH OF FRONT YARD: 25 FT
 MINIMUM WIDTH OF SIDE YARD: 7.5 FT
 MINIMUM DEPTH OF REAR YARD: 15 FT
 LOT COVERAGE: 30%
 OPEN SPACE: 50%

REFERENCES:

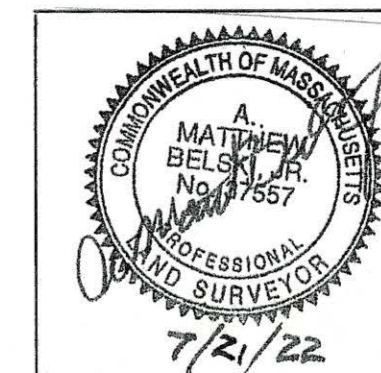
MIDDLESEX SOUTH DISTRICT REGISTRY OF DEEDS:
 1. PLAN #427 OF 1985.
 2. BDDK 17391 PAGE 311.

THIS PLAN IS THE RESULT OF AN INSTRUMENT SURVEY COMPLETED ON MAY 25, 2022.

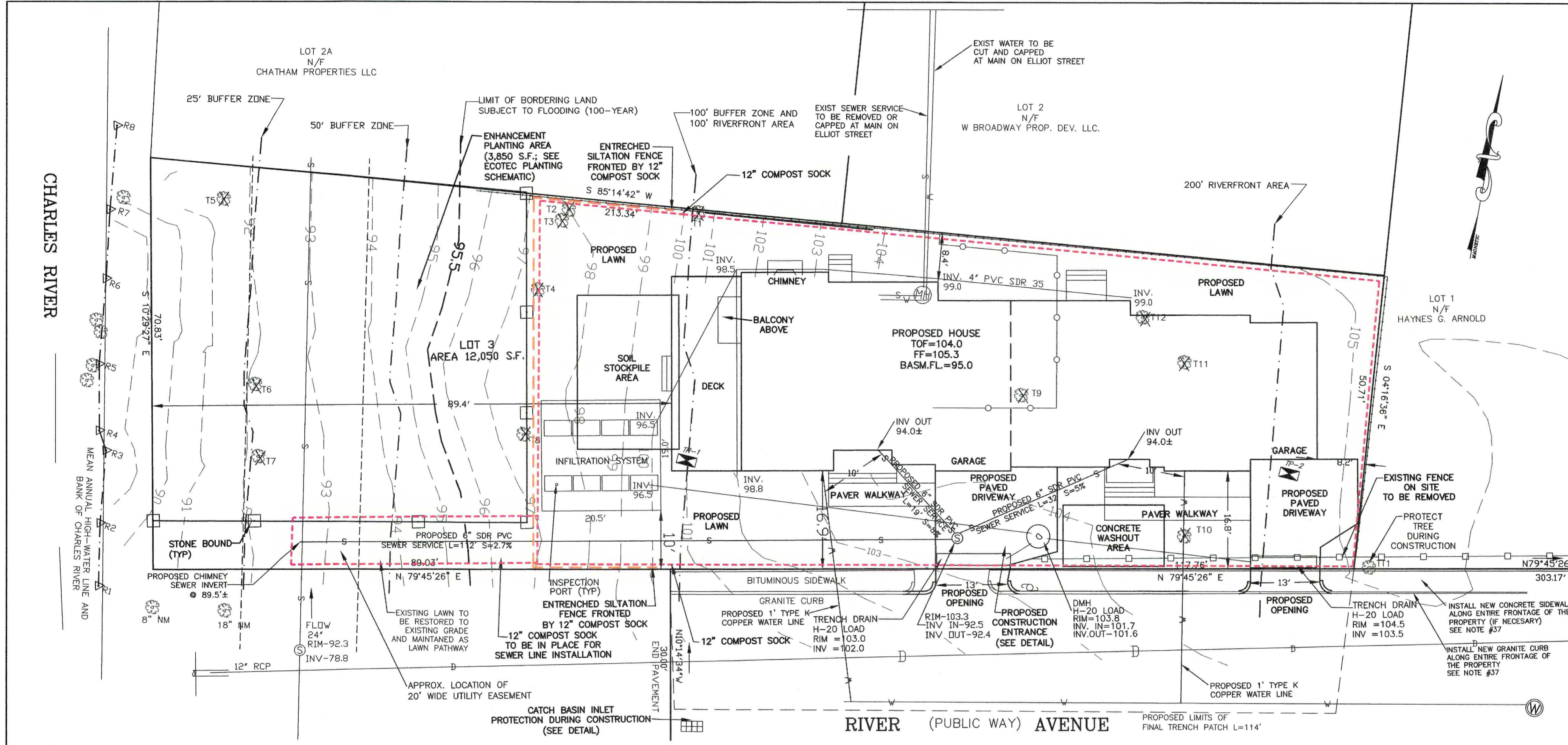
NOTES:

1. THE DATUM IS CITY OF NEWTON BASE.
 2. SEE ARBORIST REPORT (6/8/2022) FOR TREE INFORMATION.

DESIGNED BY:
 MIKHAIL DEYCHMAN
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 TEL. (857) 498-0951

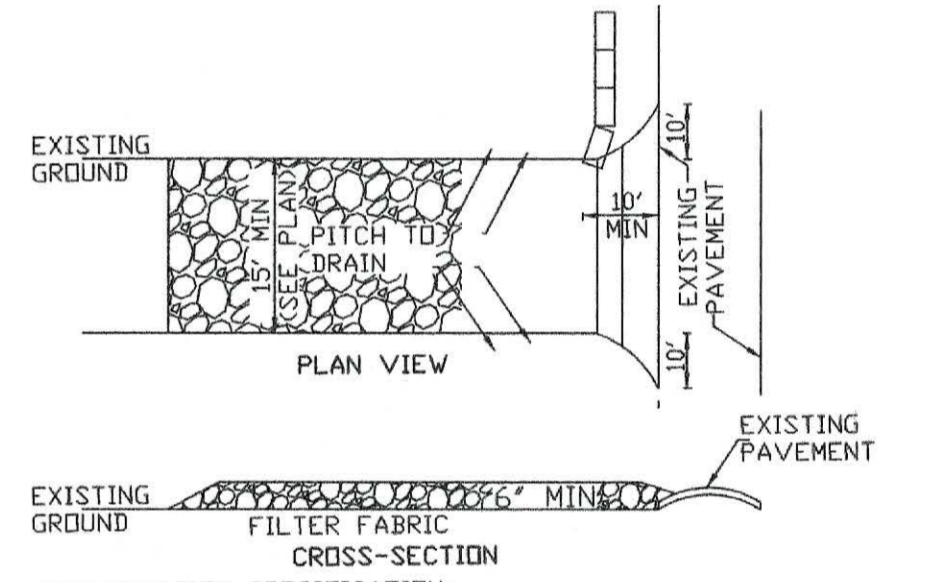


DATE	REVISION
EXISTING CONDITIONS PLAN	
43 RIVER AVENUE NEWTON, MASSACHUSETTS 02464	
RAV & Assoc., Inc. 21 HIGHLAND AVENUE NEEDHAM, MASSACHUSETTS 02021 TELEPHONE: (781) 449-8200	
SCALE: AS NOTED	DATE: 07/20/22
APPROVED: R.A.V.	DESIGNED BY: M.D. DRAWN BY: M.D.
	DRAWING No. S-130 SHEET: 1 OF 4



ZONING LEGEND			
ZONING DISTRICT: MR 1 (LOT CREATED BEFORE 12/07/1953)			
	REQUIRED	PROPOSED	COMPLIANCE
MIN. AREA	7,000	12,050 S.F.	YES
MIN. FRONTAGE	70'	206.79'	NO
MIN. FRONT SETBACK	25'	16.8'	NO
SIDE SETBACK	7.5'	8.2'	YES
	15'	8.4'	NO
MAX. LOT COV.	30%	23.6%	YES
MIN. OPEN SPACE	50%	70.9% ±	YES
MAX. BLDG. HEIGHT	36'	33.7' ±	YES
MAX. STORIES	2.5	2.5 ±	YES

AVERAGE GRADE PLANE					
SEGMENT	LENGTH	POINT 1	POINT 2	MEAN 1&2	MEAN X LENGTH
1	34.1	101.3	101.0	101.2	3,450.9
2	15.0	101.7	103.3	102.5	1,537.5
3	18.8	103.4	104.4	103.9	1,953.3
4	33.1	104.5	104.6	104.6	3,462.3
5	20.6	104.6	104.8	104.7	2,156.8
6	11.5	104.8	104.9	104.8	1,205.2
7	23.5	105.0	105.3	105.2	2,472.2
8	11.5	105.3	105.3	105.3	1,211.0
9	14.8	105.3	104.7	105.0	1,554.0
10	6.9	104.8	104.3	104.6	721.7
11	17.0	104.3	104.1	104.2	1,771.4
12	13.0	104.1	103.8	104.0	1,352.0
13	7.5	103.8	104.0	103.9	779.2
14	10.0	104.0	104.0	104.0	1,040.0
15	15.8	103.3	102.0	102.6	1,621.1
E = 253.1'				E = 26,288.6	
SUM OF MEAN X LENGTH			SUM OF LENGTHS = AVERAGE GRADE PLANE = 103.87'		

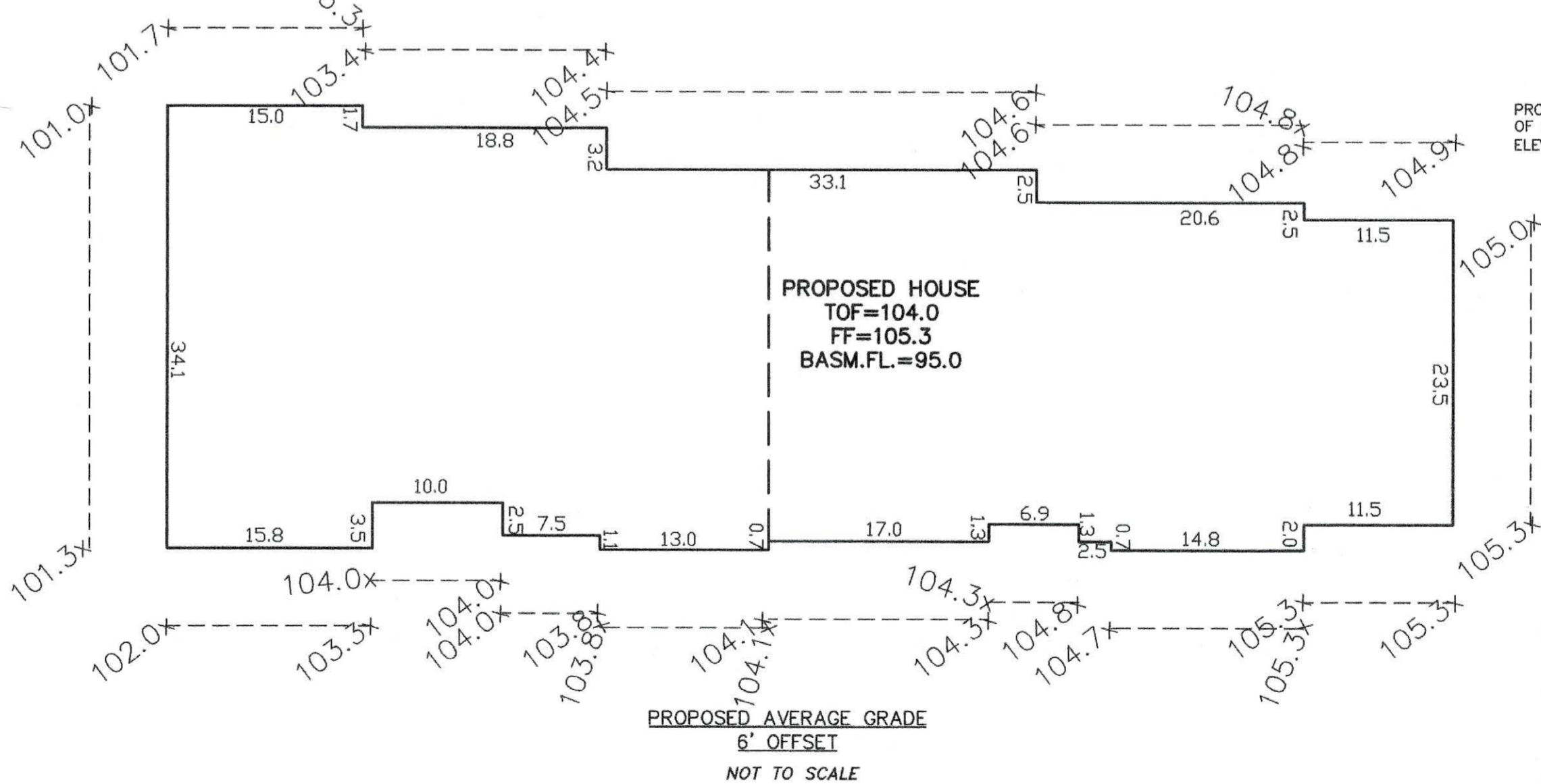
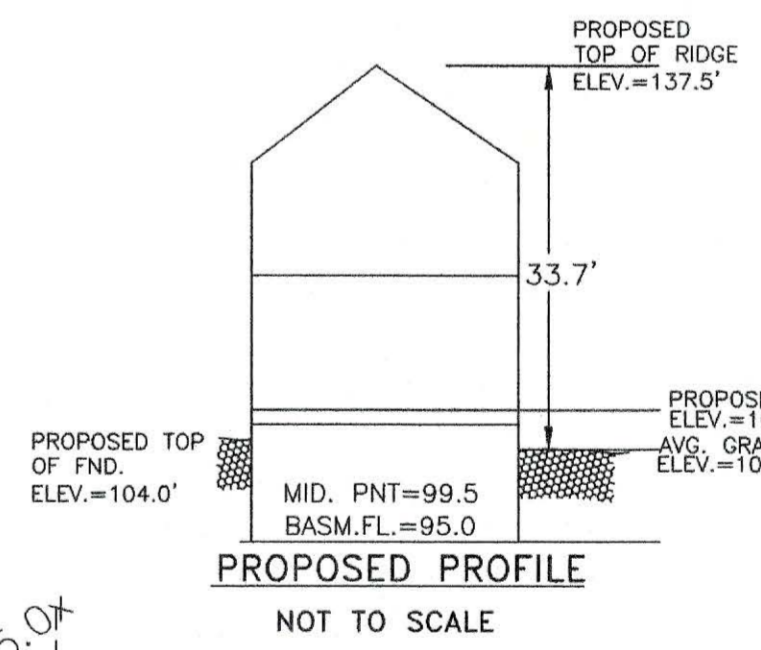
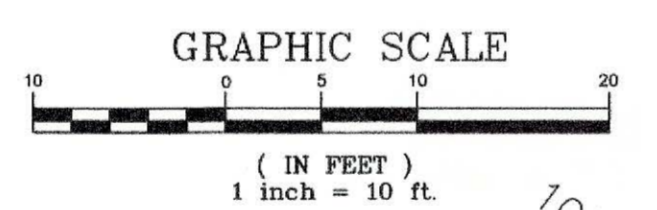


CONSTRUCTION SPECIFICATION:
 1. STONE SIZE-USE 2" TO 4" WASHED, ANGULAR STONE
 2. THICKNESS-NOT LESS THAN SIX (6) INCHES
 3. WIDTH-FIFTEEN (15') FEET MIN, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS
 4. FILTER FABRIC-SHALL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE
 5. MAINTENANCE-THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH SHALL PREVENT TRACKING OR FLOWING OF SEDIMENT INTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED INTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY
 6. PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED

STABILIZED CONSTRUCTION ENTRANCE
 NOT TO SCALE

EXISTING FEATURES:
 HOUSE 1,011 S.F.
 DRIVEWAY 280 S.F.
 DECK 290 S.F.
 WALKS, STAIRS AND LANDINGS 277 S.F.
 TOTAL: 1,858 S.F.
 GRASS: 10,192 S.F.

PROPOSED FEATURES:
 HOUSE 2,847 S.F.
 DRIVEWAYS 655 S.F.
 WALKS, STAIRS AND LANDINGS 345 S.F.
 DECK 401 S.F.
 TOTAL: 4,248 S.F.
 GRASS: 7,802 S.F.
 INCREASED BY: 2,390 S.F.

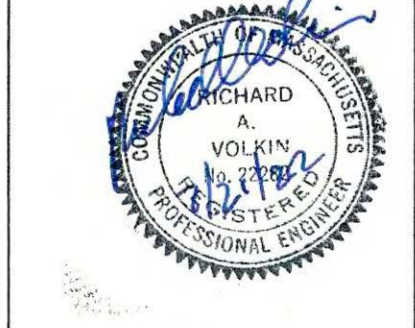
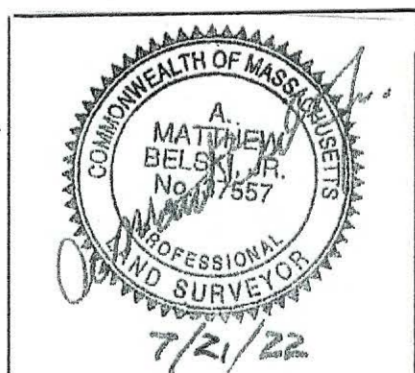
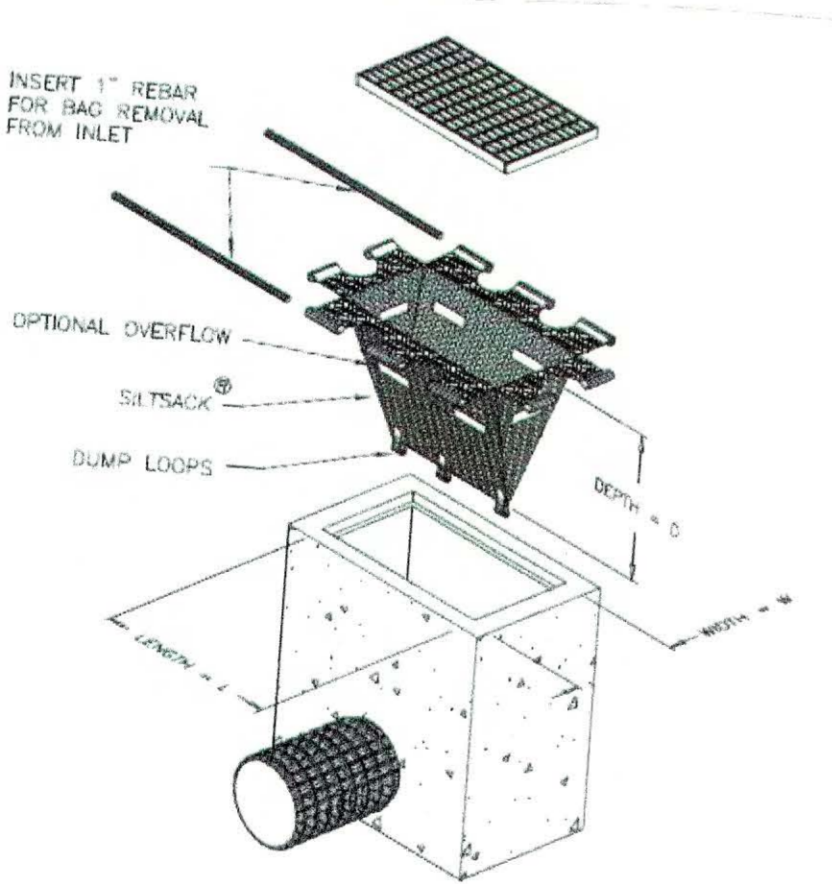
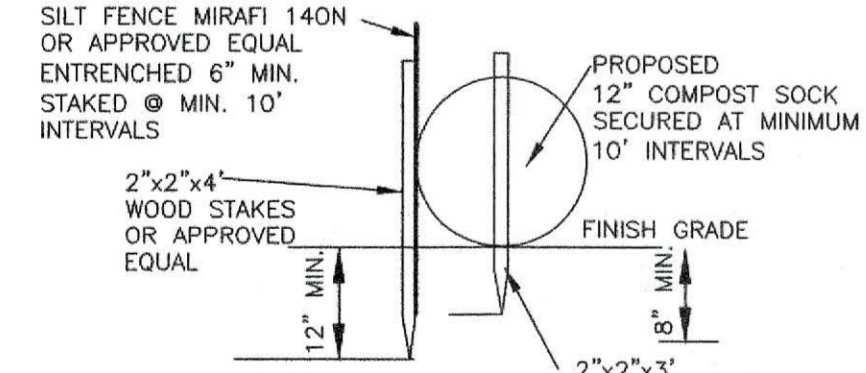
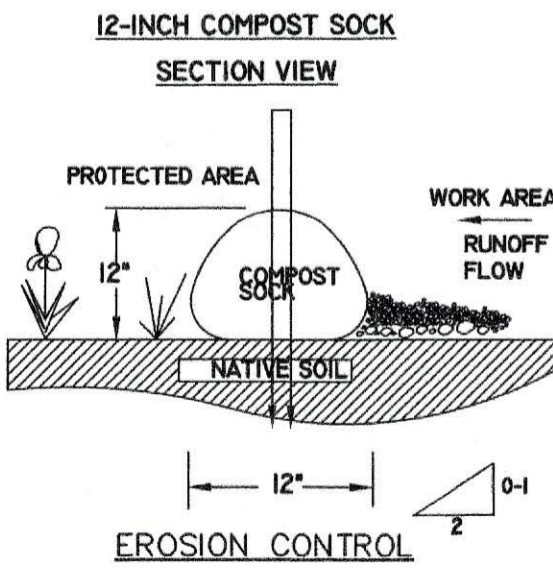


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ASSESSOR'S MAP 134 NE
 SECTION 51
 BLOCK 43
 LOT 3
 NEIGHBORHOOD 5A

REFERENCES:
 MIDDLESEX SOUTH DISTRICT REGISTRY OF DEEDS:
 1. PLAN #427 OF 1985.
 2. BLDK 17391 PAGE 311.
 THIS PLAN IS THE RESULT OF AN INSTRUMENT SURVEY COMPLETED ON MAY 25, 2022.

NOTES:
 1. THE DATUM IS CITY OF NEWTON BASE.
 2. SEE ARBORIST REPORT (6/8/2022) FOR TREE INFORMATION.
 3. X INDICATES TREE TO BE REMOVED.
 4. T5, T6 & T7 TO BE CUT CLOSE TO GROUND SURFACE WITH STUMPS LEFT IN PLACE (I.E., NOT GROUND OR GRUBBED) T6 AND T7 TO BE CREATED BY BLOTTING TO PREVENT SPROUTING.



DESIGNED BY:
 MIKHAIL DEYCHMAN
 EMAIL: MDEYCH@YAHOO.COM
 TEL: (857) 498-0951

DATE: 07/20/22

REVISION:

PROPOSED SITE PLAN
 43 RIVER AVENUE
 NEWTON, MASSACHUSETTS 02464
RAW & Assoc., Inc.
 21 HIGHLAND AVENUE
 NEEDHAM, MASSACHUSETTS 02021
 TELEPHONE: (781) 449-8200

SCALE: AS NOTED DATE: 07/20/22

APPROVED: R.A.V. DESIGNED BY: M.D. DRAWING No. S-130 SHEET: 2 OF 4

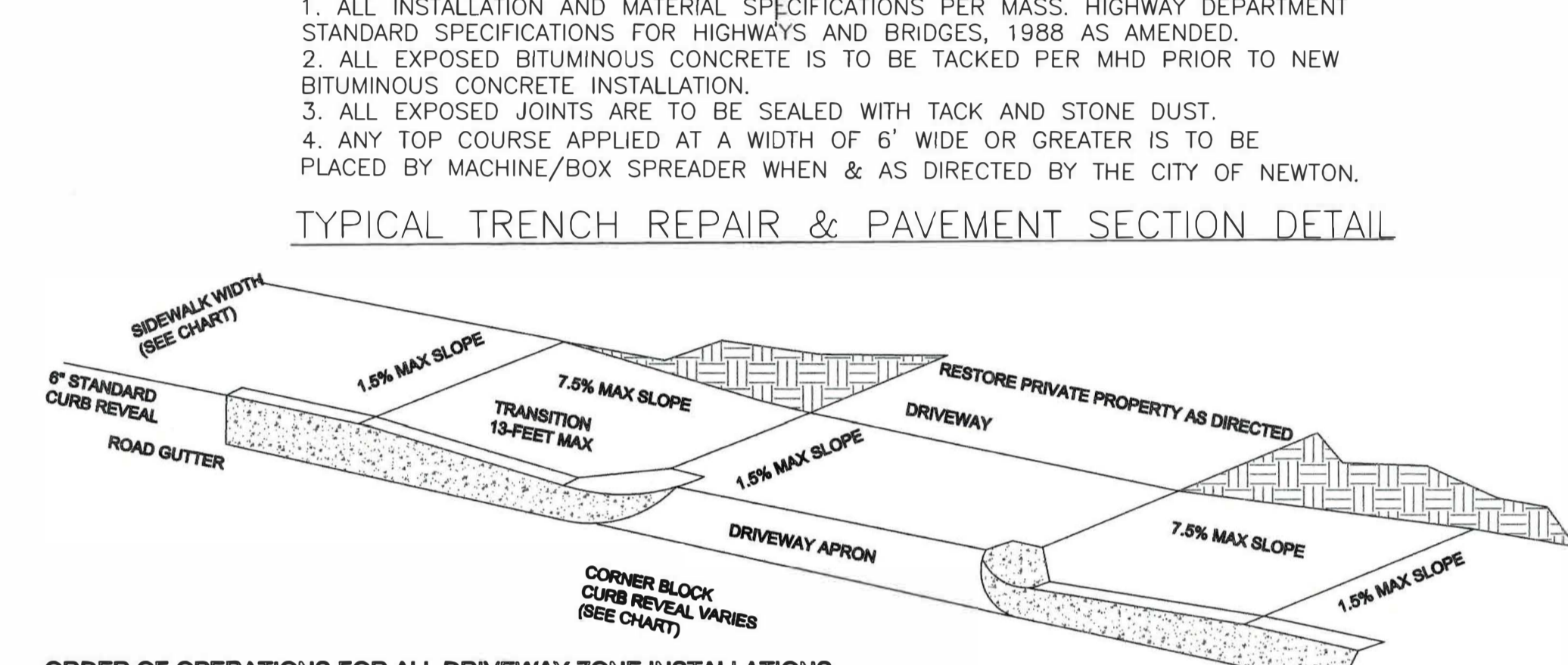
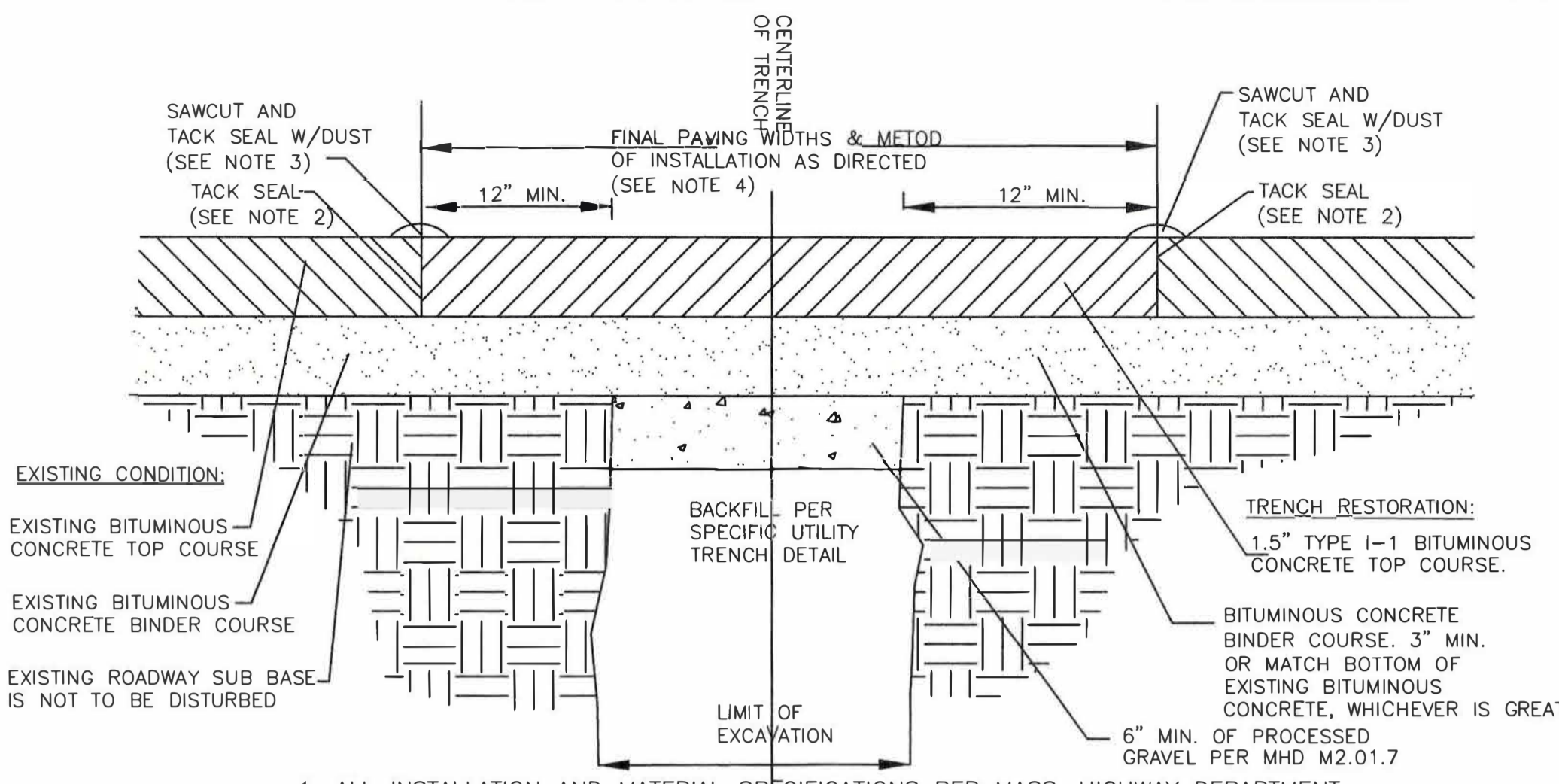
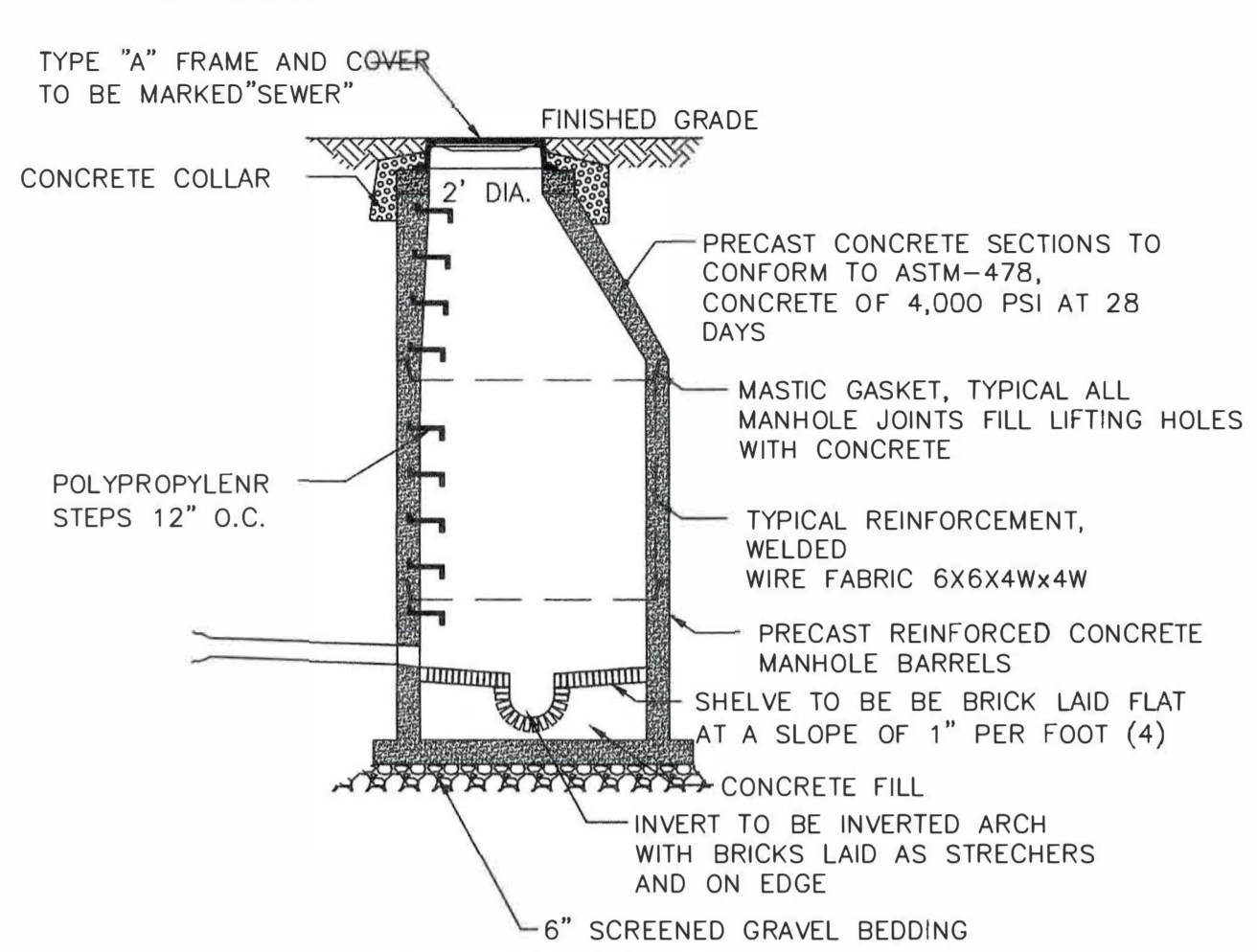
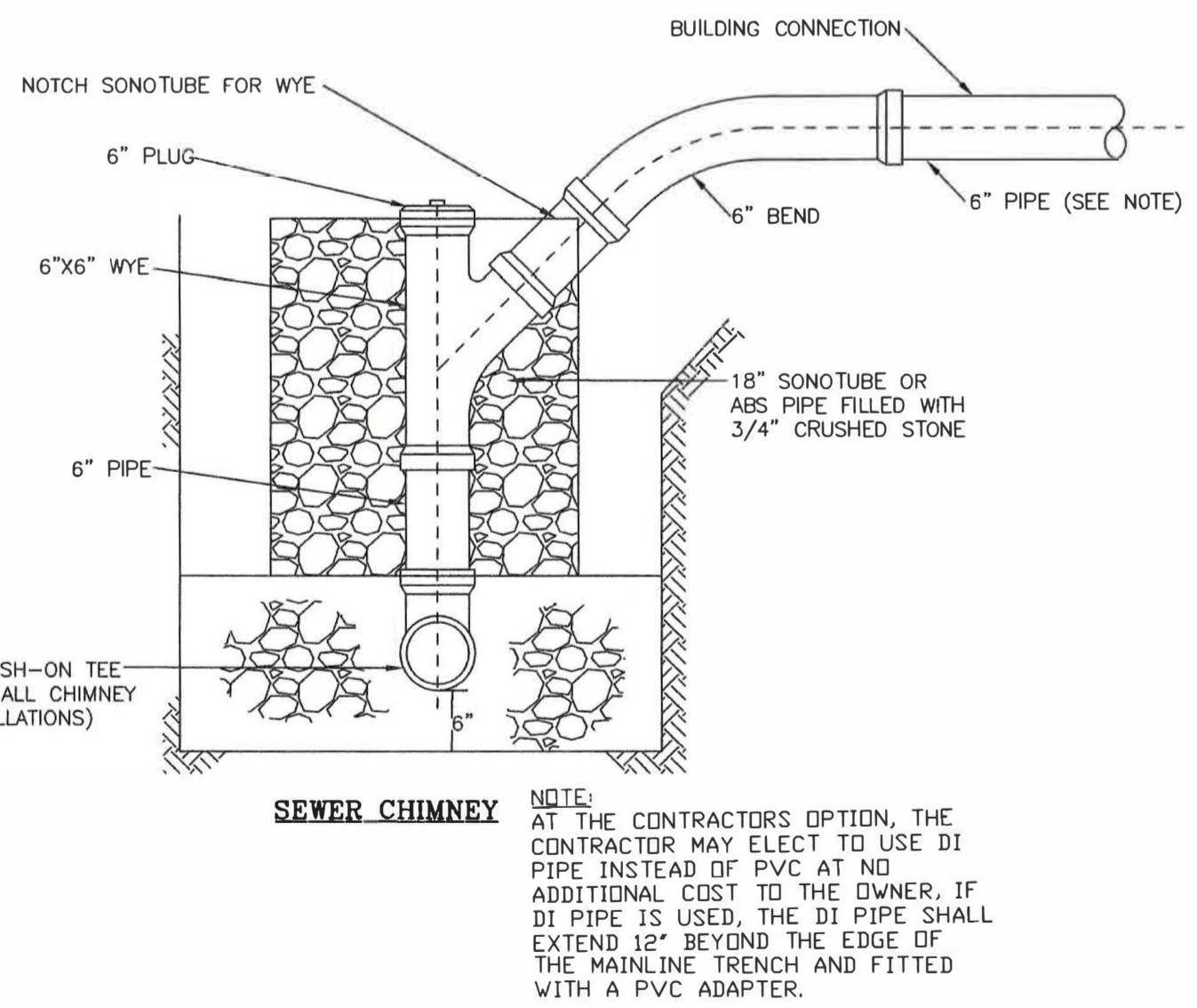
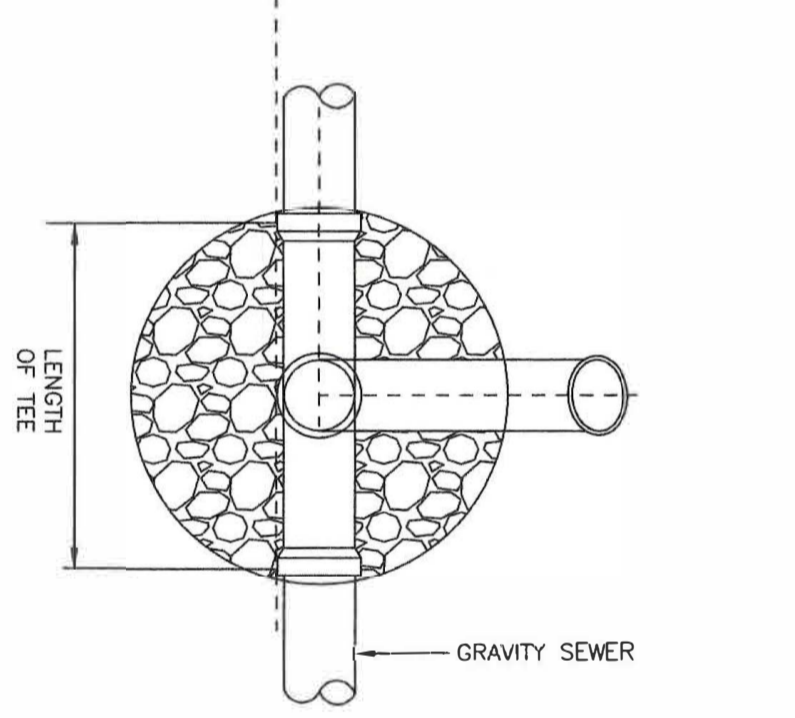
NOTES:

- 1. ELEVATIONS REFER TO CITY OF NEWTON DATUM.
2. UTILITIES APPROXIMATE AND MUST BE VERIFIED BY THE CONTRACTOR PRIOR TO ANY CONSTRUCTION...
3. MASSACHUSETTS STATE LAW REQUIRES UTILITY NOTIFICATION AT LEAST THREE BUSINESS DAYS PRIOR TO CONSTRUCTION...
4. ALL UTILITY CONSTRUCTION SHALL CONFORM TO THE CITY OF NEWTON GENERAL CONSTRUCTION DETAILS, LATEST EDITION...
5. PROPOSED SEWER PIPE SHALL BE 6" PVC SDR 35.
6. PROPOSED WATER SERVICE SHALL BE 1" TYPE K COPPER.
7. THIS PLAN IS THE RESULT OF AN INSTRUMENT SURVEY DONE ON THE GROUND 05/25/2022.
8. ALL WORK SHALL BE SUBJECT TO THE INSPECTION BY AND APPROVAL OF THE CITY ENGINEER.
9. NO EXCAVATION SHALL BE MADE BY THE CONTRACTOR IN ANY PUBLIC WAY OR UTILITY EASEMENT UNLESS AT LEAST FORTY-EIGHT (48) HOURS NOTIFICATION FOR A REQUESTED INSPECTION...
10. THE CONTRACTOR SHALL PROVIDE CITY OF NEWTON POLICE OFFICERS FOR THE DIRECTION AND CONTROL OF TRAFFIC, AS REQUIRED BY THE CITY ENGINEER.
11. NO WORK SHALL BE PERFORMED UNTIL THE NECESSARY PERMITS ARE OBTAINED FROM THE CITY OF NEWTON PUBLIC WORKS DEPARTMENT.
12. ALL TRENCHES IN PAVED STREETS SHALL MATCH EXISTING ASPHALT THICKNESS, LAID HOT AND MAINTAINED UNTIL THE PERMANENT PATCH IS INSTALLED OR AS DIRECTED BY ENGINEERING INSPECTOR.
13. WARNING SIGNS SHALL CONFORM REFER TO THE 2020 MUTCD STANDARD HIGHWAY SIGNS.
14. ALL TOPSOIL, SUBSOIL OR IMPERVIOUS SOIL MUST BE EXCAVATED AND REMOVED BELOW THE LEACHING SYSTEM AND IN ALL DIRECTIONS BEYOND THE SIDES OF THE GALLEYS...
15. IN CASES WHERE LEDGE OR BOULDERS ARE ENCOUNTERED, RAV & ASSOCIATES, INC. WILL NOT BE RESPONSIBLE FOR THE AMOUNT OF ROCK ENCOUNTERED.
16. IF ANY MODIFICATIONS TO THE APPROVED PLAN ARE COMPLETED/UNDERTAKEN WITHOUT A REVISED "STAMPED" DESIGN PLAN BEING RECEIVED FROM THE DESIGN ENGINEER FOR REVIEW BY THE ENGINEERING DIVISION...
17. THE ROOF RUNOFF FROM THE ROOF SURFACES SHALL BE COLLECTED BY GUTTERS AND DIRECTED TO THE STORM WATER DRAINAGE SYSTEM.
18. ANY PROPOSED PVC PIPES UNDER PAVING OR CONCRETE WITH LESS THAN 30" OF COVER MUST BE ENCASED IN CONCRETE.
19. THE EXISTING WATER & SEWER SERVICES SHALL BE CUT AND CAPPED AT THE MAIN AND BE COMPLETELY REMOVED FROM THE SITE...
20. THE CONTRACTOR SHALL NOTIFY THE ENGINEERING DIVISION 48 HOURS IN ADVANCE AND SCHEDULE AN APPOINTMENT TO HAVE THE DRAINAGE SYSTEM, WATER & SEWER SERVICES INSPECTED...
21. NO WORK IS ALLOWED WITHIN A CITY OF NEWTON RIGHT-OF-WAY BETWEEN NOVEMBER 15TH AND APRIL 15TH...
22. AT THE END OF CONSTRUCTION, ALL DRAINAGE STRUCTURES ARE TO BE CLEANED OF SILT, STONES AND OTHER DEBRIS.
23. DURING CONSTRUCTION, THE EROSION CONTROL MEASURES SHALL BE INSPECTED ONCE PER WEEK AND WITHIN 24 HOURS OF ANY STORM EVENT...
24. WITH EXCEPTION OF GAS UTILITY SERVICES, ALL UTILITY TRENCHES WITHIN ANY CITY OF NEWTON RIGHT-OF-WAY WILL BE BACKFILLED WITH TYPE IE (EXCAVATABLE) CONTROLLED DENSITY FILL...
25. ALL CONSTRUCTION ACTIVITIES WITHIN THE CITY OF NEWTON RIGHT-OF-WAY MUST FULLY COMPLY WITH ALL OF CITY OF NEWTON CONSTRUCTION SPECIFICATIONS AS WELL AS 521 CMR 21.00 AND 22.00.
26. THE NEW SEWER SERVICE AND/OR STRUCTURES SHALL BE PRESSURE TESTED OR VIDEOTAPED AFTER FINAL INSTALLATION IS COMPLETE...
27. ALL SILTATION CONTROL NEEDS TO BE INSTALLED PRIOR TO ANY CONSTRUCTION...
28. ALL TRENCH EXCAVATION CONTRACTORS SHALL COMPLY WITH MGL CHAPTER 82A, TRENCH EXCAVATION SAFETY REQUIREMENTS...
29. CIVIL ENGINEER BASED DESIGN ON PROVIDED SURVEY. ENGINEER NOT RESPONSIBLE FOR ANY DISCREPANCY IN THE PROVIDED SURVEY.
30. CONTRACTOR TO ENSURE SEWER LINE IS PITCHED AT AN EQUAL SLOPE OF BETWEEN 2% AND 10% FROM HOUSE TO MAIN CONNECTION.
31. CONTRACTOR TO CONFIRM LOCATION OF DOWNSPOUTS PRIOR TO CARRYING OUT ANY DRAINAGE WORKS.
32. RAV & ASSOCIATES INC, ACCEPT NO LIABILITY FOR GROUND WATER OR OTHER SURFACE WATER IN BASEMENT.
33. SEWER AND WATER MAIN LOCATION TO BE CONFIRMED BY CONTRACTOR.
34. SURFACE WATER TO BE DIVERTED FROM ALL SIDES OF FOUNDATION WALL.
35. ANY TREE BEING REMOVED SHALL COMPLY WITH CITY OF NEWTON TREE ORDINANCE.
36. CONTRACTOR TO ENSURE THAT THE BUILDING FOOTPRINT REPRESENTED ON THIS PLAN IS THE SAME AS THE PROPOSED ARCHITECTURAL /STRUCTURAL PLANS AND INCORPORATES ALL OVERHANGS, CANTILEVERS AND ANY COMPONENT THAT IS SUBJECT TO ZONING RESTRICTIONS...
37. PER CITY OF NEWTON ORDINANCE NO. B-52, COUNCIL ITEM #251-19, BUILDING SEWER, WATER SERVICE PIPE AND SIDEWALK/CURB REPLACEMENT ORDINANCE...
38. ANY WALL IN EXCESS OF 4- FEET OR TALLER MUST BE DESIGNED BY A STRUCTURAL ENGINEER LICENSED IN MASSACHUSETTS.

39. THE ENGINEER OF RECORD IS RESPONSIBLE FOR THE ON-SITE INSPECTION(S) OF ALL SUBSURFACE STRUCTURES. THIS INCLUDES BUT IS NOT LIMITED TO DRAINAGE, UTILITIES, (INCLUDING SEWER PIPE SLOPE), ROOF LEADER COLLECTION SYSTEM, TRENCH DRAINS, MANHOLES, ETC. ENGINEER OF RECORD MUST ALSO CONDUCT "BOTTOM OF HOLE" INSPECTION(S) PRIOR TO SUBSURFACE DRAINAGE SYSTEM(S) BEING INSTALLED.
40. PRIOR TO AN OCCUPANCY PERMIT BEING ISSUED, AN AS-BUILT PLAN MUST BE SUBMITTED TO THE ENGINEERING DIVISION IN BOTH DIGITAL FORMAT AND HARD COPY...
41. IF AT TIME OF CONSTRUCTION THE ROADWAY FALLS UNDER A 5-YEAR CONSTRUCTION MORATORIUM...
42. CONTRACTOR HAS TO STABILIZE SLOPE DURING CONSTRUCTION.

STORMTECH GENERAL NOTES

- 1. STORMTECH LLC ("STORMTECH") REQUIRES INSTALLING CONTRACTORS TO USE AND UNDERSTAND STORMTECH'S LATEST INSTALLATION INSTRUCTIONS PRIOR TO BEGINNING SYSTEM INSTALLATION.
2. STORMTECH'S REQUIREMENTS FOR SYSTEMS WITH PAVEMENT DESIGN (ASPHALT, CONCRETE PAVERS, ETC.) MINIMUM COVER IS 18 INCHES NOT INCLUDING PAVEMENT...
3. THE CONTRACTOR MUST REPORT ANY DISCREPANCIES WITH CHAMBER FOUNDATION MATERIALS BEARING CAPACITIES TO THE DESIGN ENGINEER.
4. AASHTO M288 CLASS 2 NON-WOVEN GEOTEXTILE (FILTER FABRIC) MUST BE USED AS INDICATED IN THE PROJECT PLANS.
5. STONE PLACEMENT BETWEEN CHAMBERS ROWS AND AROUND PERIMETER MUST FOLLOW INSTRUCTIONS AS INDICATED IN THE MOST CURRENT VERSION OF STORMTECH'S INSTALLATION INSTRUCTIONS.
6. BACKFILLING OVER THE CHAMBERS MUST FOLLOW REQUIREMENTS AS INDICATED IN THE MOST CURRENT VERSION OF STORMTECH'S INSTALLATION INSTRUCTIONS.
7. THE CONTRACTOR MUST REFER TO STORMTECH'S INSTALLATION INSTRUCTIONS FOR A TABLE OF ACCEPTABLE VEHICLE LOADS AT VARIOUS DEPTHS OF COVER...
8. THE CONTRACTOR MUST APPLY EROSION AND SEDIMENT CONTROL MEASURES TO PROTECT THE STORMWATER SYSTEM DURING ALL PHASES OF SITE CONSTRUCTION PER LOCAL CODES AND DESIGN ENGINEER'S SPECIFICATIONS.



ORDER OF OPERATIONS FOR ALL DRIVEWAY ZONE INSTALLATIONS

- 1. DETERMINE SIDEWALK WIDTH.
2. SET THE CORNER BLOCK REVEAL TO THE DIMENSIONS SHOWN ON THE CHART BELOW AND INSTALL THE TRANSITION CURB.
3. LOCATE THE INTERCEPT AXIS AND RE-CHECK FOR THE MINIMUM ACCESSIBLE ROUTE WIDTH.
4. SET THE 1.5% GRADIENT TO THE BACK OF THE WALK WITH A 2\"/>

DRIVEWAY TRANSITIONS TO INTERCEPT 6\"/>

Table with 6 columns: DRIVEWAY, CORNER BLOCK REVEAL, DISTANCE TO APRON INTERCEPT, RISE TO APRON INTERCEPT, GUTTER GRADE (G), HIGH SIDE LENGTH TO TRANSITION CURB INCLUDING THE 2\"/>

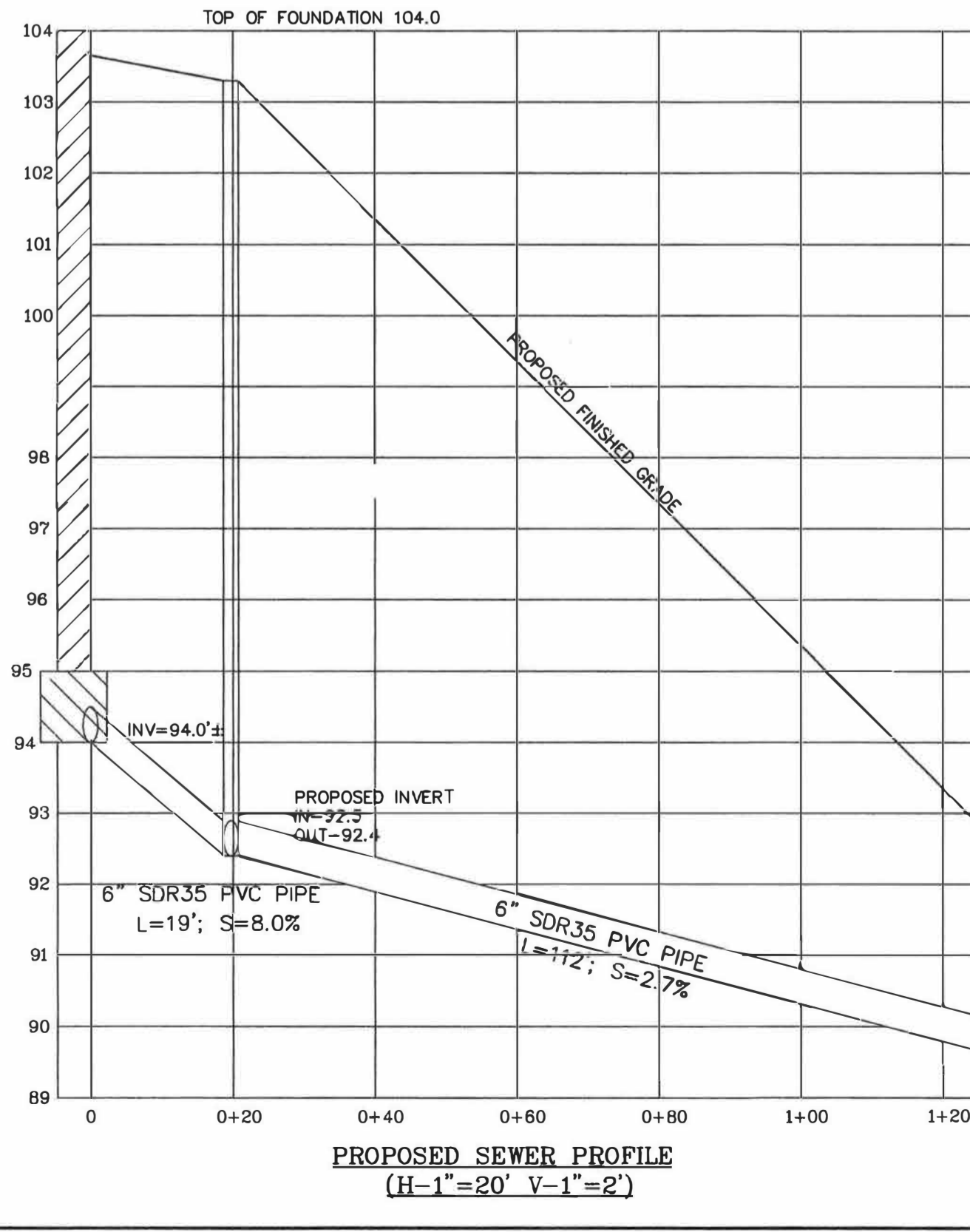
- (1) FINAL PRODUCT(S) MUST NOT EXCEED THE 7.5% GRADIENT OR 1.5% CROSS SLOPE STANDARDS.
(2) WHEN THE FACTOR FALLS BETWEEN THE LISTED RANGE, USE THE LESSER GRADIENT FACTOR.
(3) THE MAXIMUM REQUIRED TRANSITION LENGTH OF CURB IS 15'-0\"/>

DRIVEWAY APRONS

IMPORTANT NOTE (APPLICABLE TO ALL CURB AND DRIVEWAYS) ALL DIMENSIONAL INFORMATION IS FOR PLANNING PURPOSES ONLY. THE FINAL PRODUCTS ROUTE CRITERIA PER THE RULES AND REGULATIONS OF THE MASSACHUSETTS ARCHITECTURAL ACCESS BOARD AND THE AMERICAN DISABILITIES ACT.

DRIVEWAY APRON DETAIL

NOT TO SCALE



DESIGNED BY: MIKHAIL DEYCHMAN EMAIL: MDEYCH@YAHOO.COM TEL. (857) 498-0951

Table with 2 columns: DATE, REVISION

NOTES, PROFILE, CHIMNEY, DETAILS

43 RIVER AVENUE NEWTON, MASSACHUSETTS 02464 RAV & Assoc., Inc. 21 HIGHLAND AVENUE NEEDHAM, MASSACHUSETTS 02021 TELEPHONE: (781) 449-8200 SCALE: AS NOTED DATE: 07/20/22 APPROVED: R.A.V. DESIGNED BY: M.D. DRAWING No. S-130 SHEET: 3 OF 4 DRAWN BY: M.D.

