

# City of Newton Planning and Development

Petition # : 417-22

## **Special Permit/Site Plan Approval**

to allow parking in the front setback and to  
allow a second front entrance

*September 20, 2022*



**154 Oliver Road**

# Zoning Relief

## Zoning Relief Required

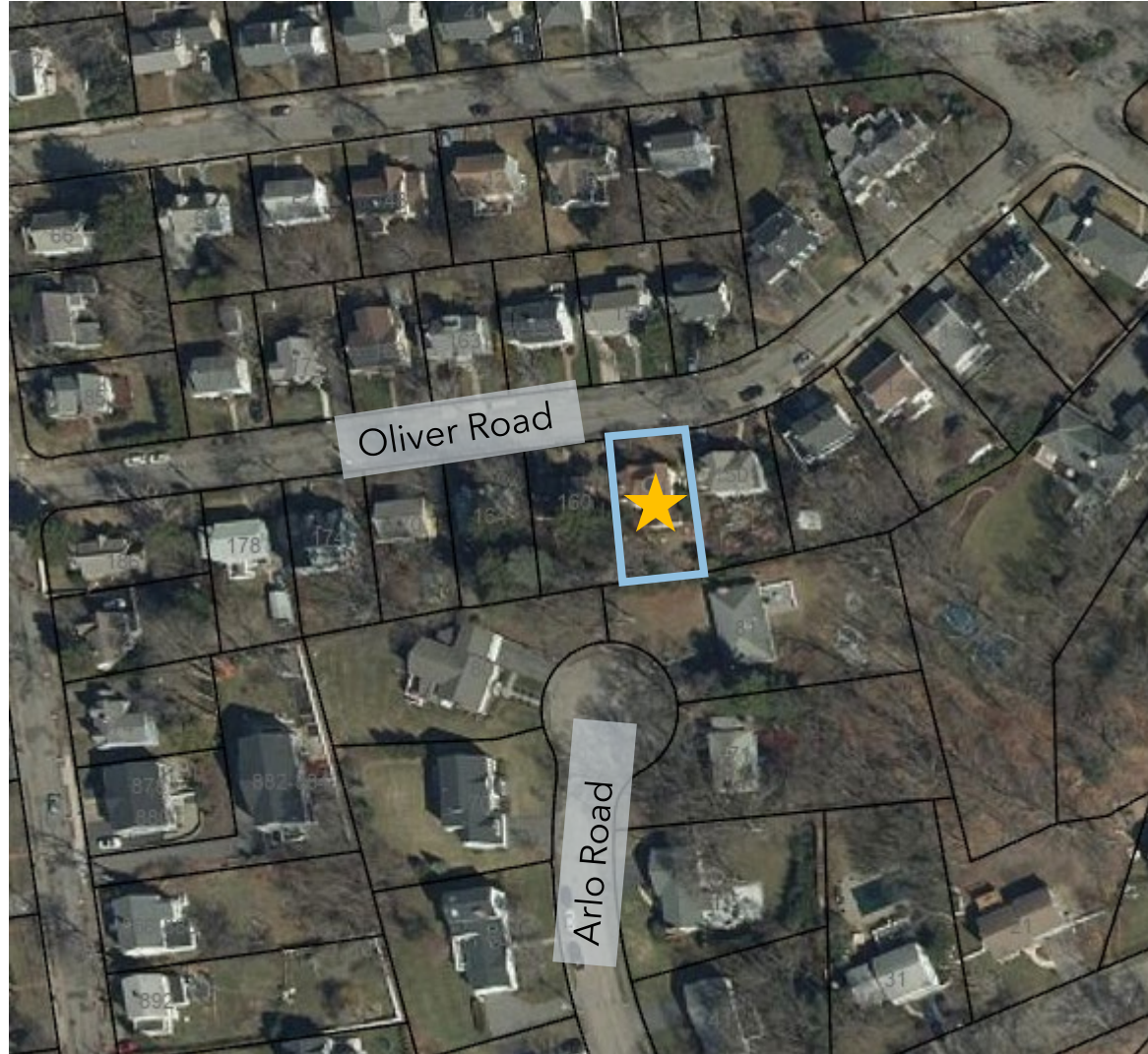
<i>Ordinance</i>		<i>Action Required</i>
§5.1.7.A §5.1.13	Request to allow a second parking stall in the front setback	S.P. per §7.3.3
§6.7.1.D.4	Request to allow a second front entrance	S.P. per §7.3.3

# Criteria to Consider

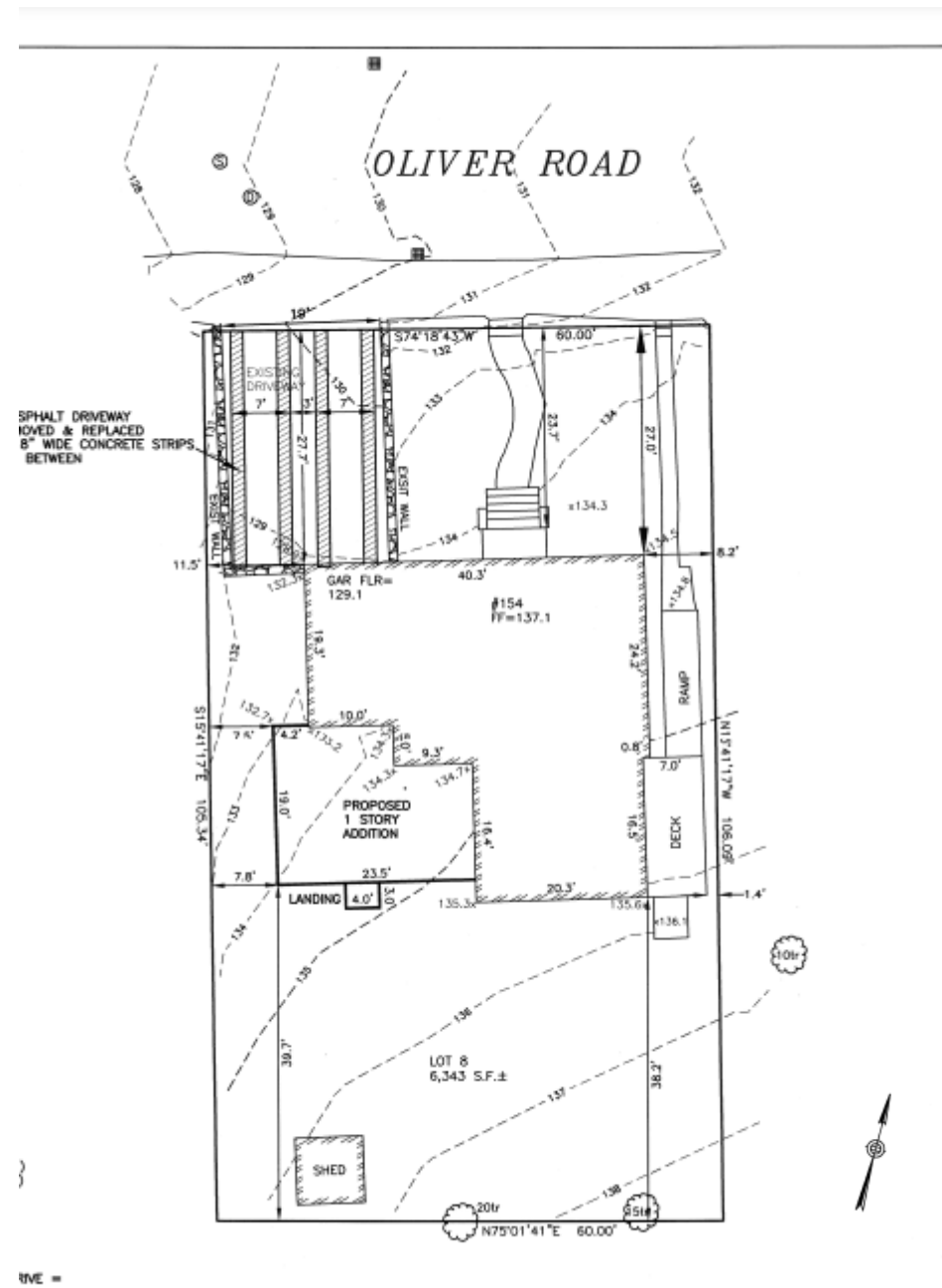
When reviewing this request, the Council should consider:

- The site is an appropriate location for the proposed parking stall within the front setback (§5.1.7.A, §5.1.13, §7.3.3.C.1.)
- The site of the second front entrance on Oliver Road is an appropriate location (§5.1.7.A, §5.1.13, §7.3.3.C.1.)
- The additional parking stall within the front setback and second front entrance will adversely affect the neighborhood. (§5.1.7.A, §5.1.13, §7.3.3.C.2.)
- The proposed changes will not be a nuisance or serious hazard to vehicles or pedestrians. (§5.1.7.A, §5.1.13, §7.3.3.C.3.)
- Access to the site over streets is appropriate for the types and numbers of vehicles involved. (§5.1.7.A, §5.1.13, §7.3.3.C.4)
- Literal compliance with the allowed number of parking stalls within the front setback is impracticable due to the nature of the use, or the location, size, width, depth, shape, or grade of the lot, or that such exceptions would be in the public interest or in the interest of safety or protection of environmental features. (§5.1.7.CA, §5.1.7.C, §5.1.13).

# Aerial Map

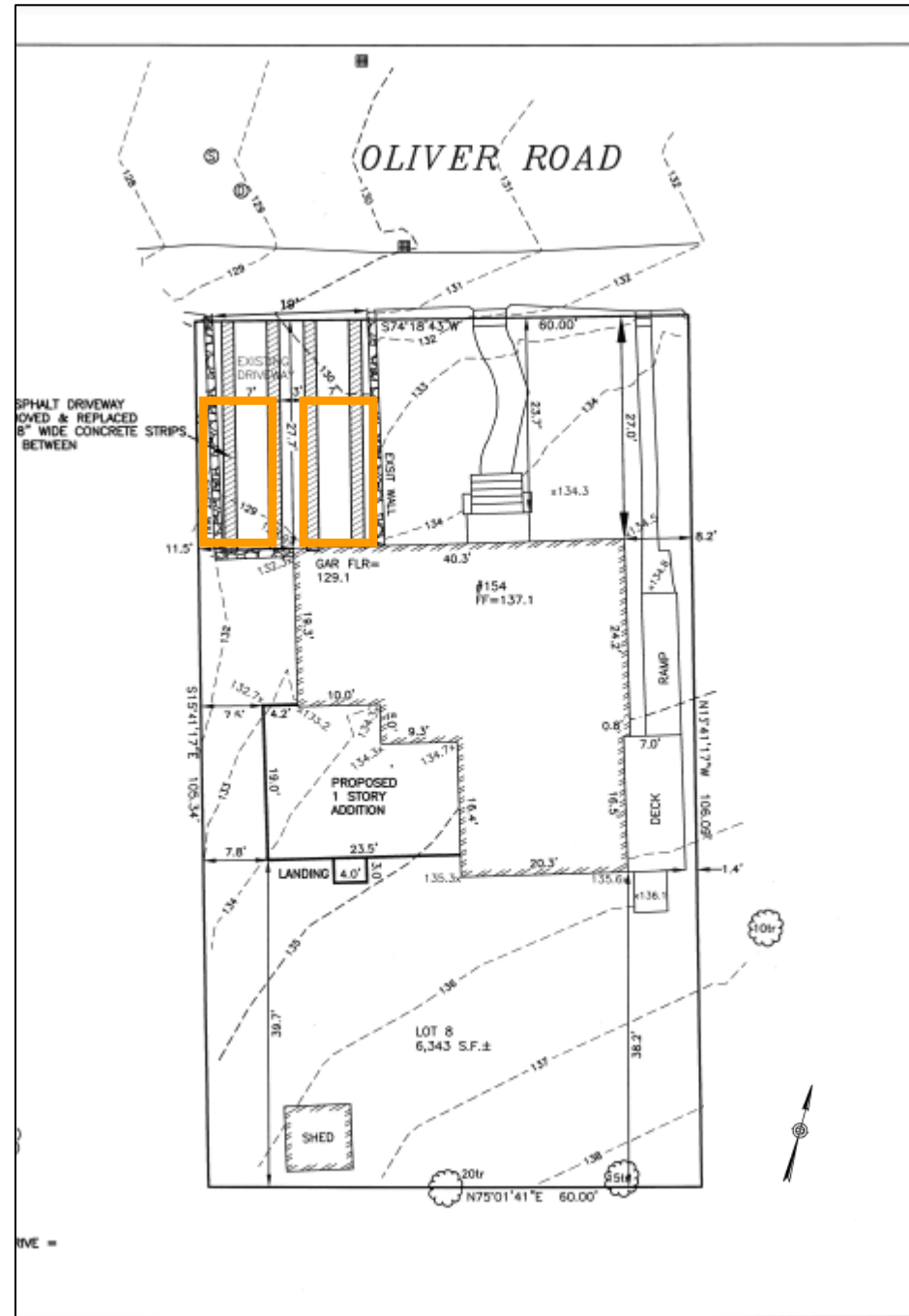


# Existing Conditions



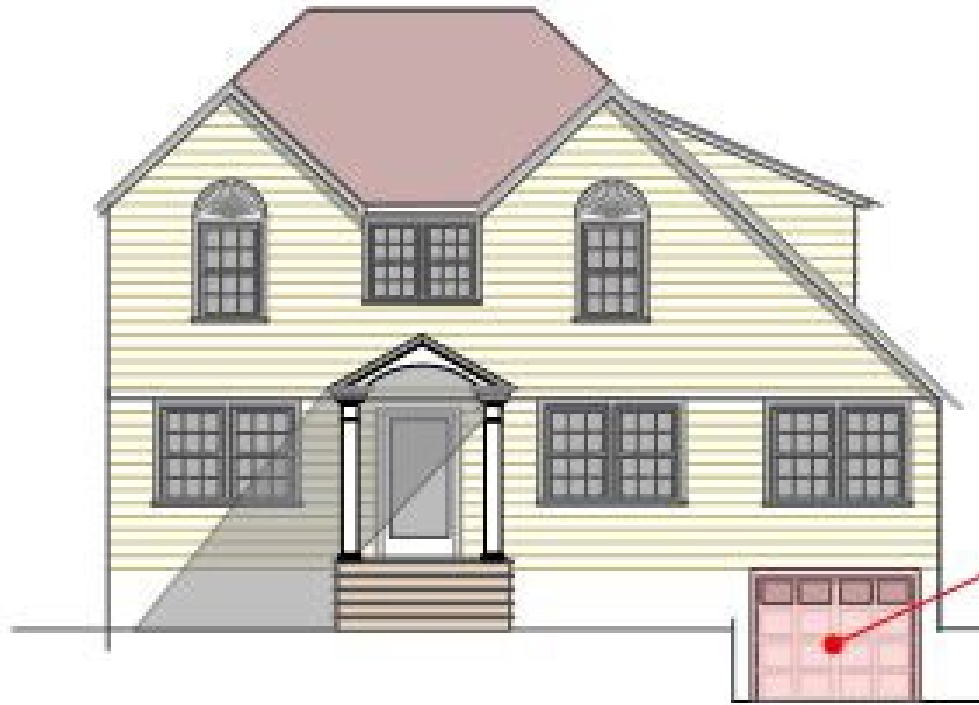
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# Proposed Site Plan

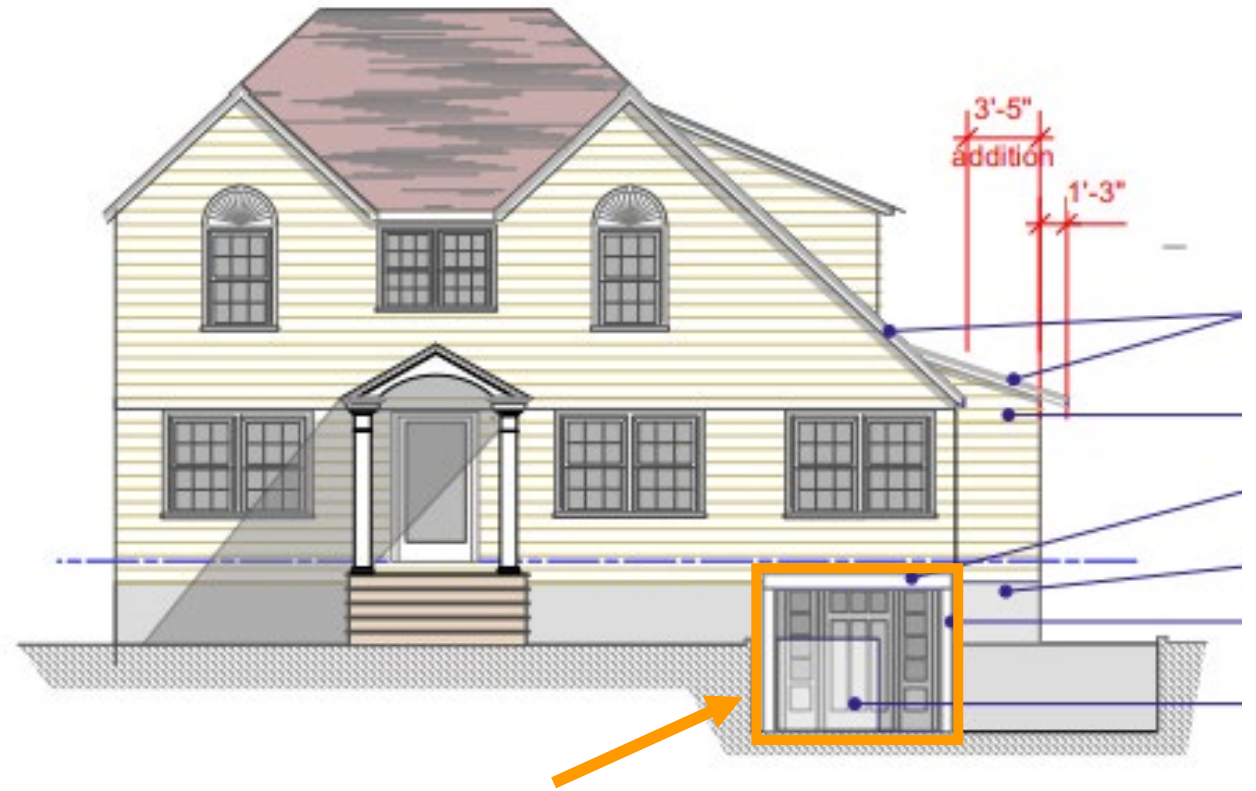


# Front Elevation

Existing  
Front Elevation



Proposed  
Front Elevation



# Findings

1. The site is an appropriate location for the proposed additional parking stall within the front setback due to **the site's topography and existing parking in the front setback.** (§5.1.7.A, §5.1.13, §7.3.3.C.1.)
2. The site is an appropriate location for a second front entrance on Oliver Road because **the new front entrance is replacing the existing garage entry on Oliver Road.** (§5.1.7.A, §5.1.13, §7.3.3.C.1.)
3. The additional parking stall within the front setback and second front entrance will not adversely affect the neighborhood due to the **overall reduction of impervious paving on the site and the front entrance is replacing an existing garage door.** (§5.1.7.A, §5.1.13, §7.3.3.C.2.)
4. There will be no nuisance or serious hazard to vehicles or pedestrians. (§5.1.7.A, §5.1.13, §7.3.3.C.3.)
5. Access to the site over streets is appropriate for the types and numbers of vehicles involved. (§5.1.7.A, §5.1.13, §7.3.3.C.4)
6. Literal compliance with the allowed number of parking stalls within the front setback is impracticable due because the **site is constrained in alternate locations for parking outside of the front setback and the additional parking stall utilizes existing driveway area** (§5.1.7.A, §5.1.7.C, §5.1.13).



# Conditions

1. Plan Referencing
2. Standard Building Permit Condition
3. Standard Occupancy Condition