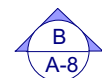


O L I V E R R O A D



NOTE: Refer to civil engineer's Plan of Land project for zoning information

Site Plan

1" = 40'

General Notes:

1. The general contractor and all subcontractors shall comply with state and local building codes & any governmental agency having jurisdiction.
2. Contractor shall obtain all required permits. Owners shall pay all permit fees.
3. Verify all dimensions in field. Report any discrepancies in drawings and/or field conditions to the architect
4. Do not scale drawings. If a dimension is not shown consult architect.
5. Coordinate locations to store all building materials & equipment with the owner prior to the start of work. Cover all materials stored outside, especially wood composite products and sheathing.
6. Coordinate the dumpster location with the owner prior to installation.
8. Protect the driveway surface during construction
9. Salvage existing interior door and window casings and base board for re-use. Carefully remove them with minimum damage

List of Drawings:

- A-1 Plot Plan & General Notes
- A-2 Existing Plans w/ Demo. Notes
- A-3 First Floor Plan
- A-4 Second Fl./ Roof & Basement Floor Plans
- A-5 Kitchen, Bathroom & Stair Part-Plans
- A-6 FAR area plans.
- A-7 Reflected Ceiling Plans
- A-8 Front Elevation / Door & window Schedule
- A-9 Side & Rear Elevations
- A-10 Wall Section/ Finish Schedule
- A-11 Foundation & Framing Plans

FAR Calculation:

Proposed house w/ additions:

Basement: (see calc.)	217. sf
First floor:	1,608. sf
Second Floor:	738. sf
Attic:	183. sf
total:	2,741. sf

Allowable FAR:

district: SR2 ; lot area 6,343 sf = .44 = 2,791 sf

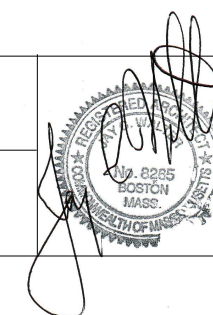
Refer to A-6 for FAR plan diagrams

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Plot Plan & General Notes
Zollers/Yoo Residence Addition & Remodeling
 154 Oliver Road Newton, Ma.

DATE:
6/4/22 SP app.

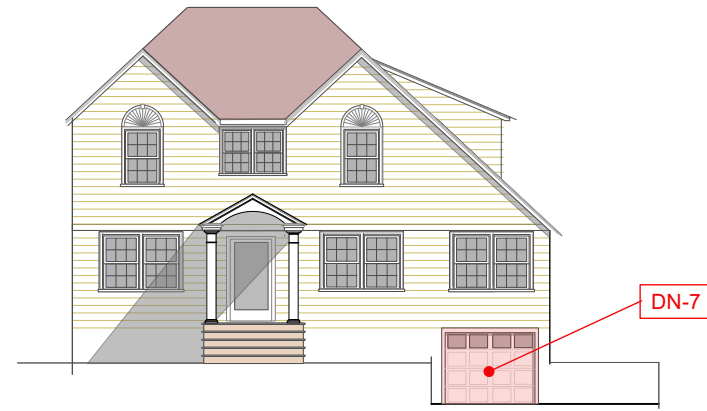
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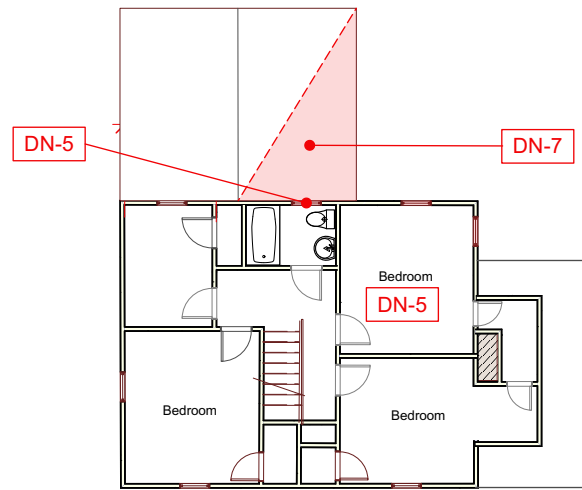
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A-1

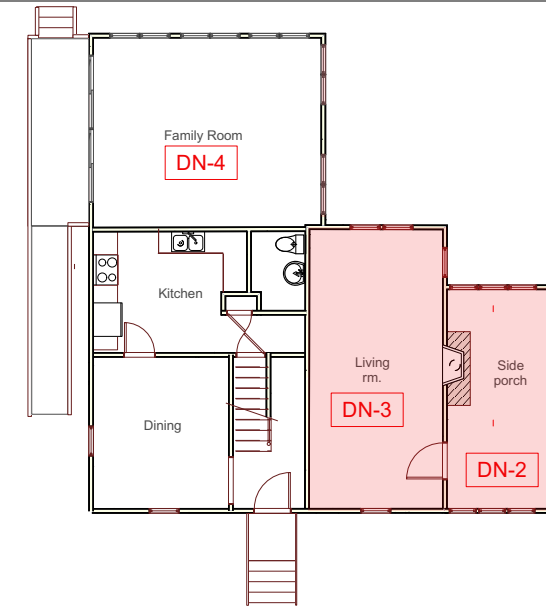
Zollers/ Yoo Residence



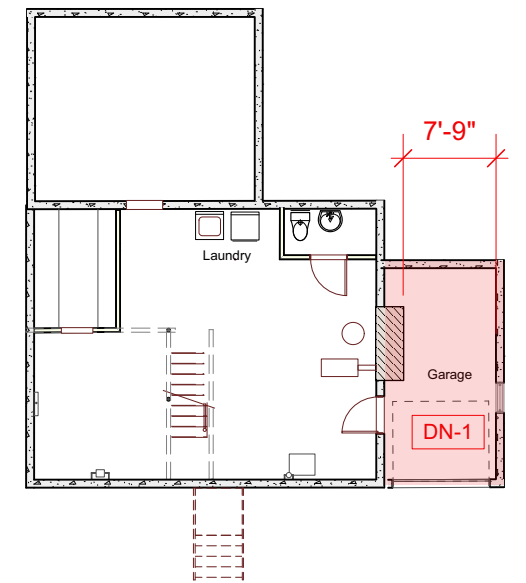
Existing Front Elevation



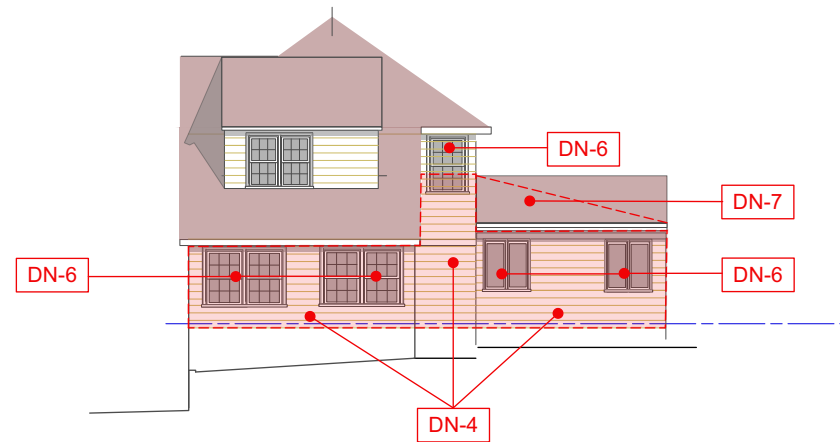
Existing Second Floor



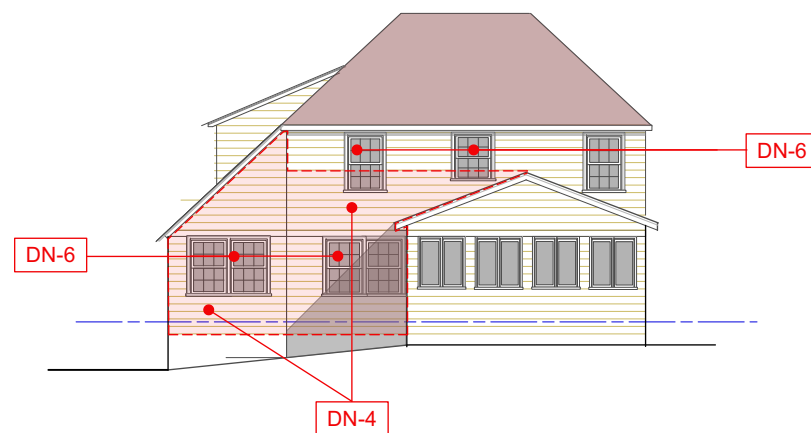
Existing First Floor



Existing Basement Plan



Existing Side Elevation



Existing Rear Elevation

Selective Demolition Notes:

DN-5 Second Fl. Rear Bedroom & bathroom.

- Remove the window assemblies including the interior casings.

EXTERIOR:

DN-6 Windows:

- Remove the window assembly in its entirety including frame and casings and exterior trim.

DN-7 Roof:

- Remove the shingle roof assembly where the new roof overlays the existing family room roof. Remove roof eave assembly facing the side where the addition abutts the existing roof.

DN-8 Siding:

- Remove the wood siding assembly where the addition abutts the existing house and as shown in the shaded area

GENERAL DEMOLITION NOTES:

- Salvage existing interior doors and frames Store for re-use. Refer to door schedule.
- Salvage door, window casings and base board for re-use patching existing areas. Carefully remove them with minimum damage.
- Install RIGID protective board with taped joints over the living room floor for the duration of construction.

INTERIOR:

DN-1 Basement:

- Remove all the garage door assembly including track and mounting.
- Remove interior door to basement including frame.
- Remove the garage ceiling assembly to expose the floor assembly.
- Cut-in larger opening at rear foundation wall for access panel to addition crawl space.
- Remove the garage window including frame.
- Remove the radiator.

DN-2 Side Porch:

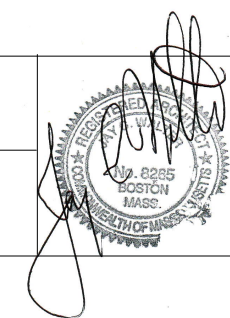
- Remove the interior plaster finish down to studs on three exterior walls.
- Remove windows at rear and side elevations. Note front windows shall remain.
- Cut-in and reframe floor for new interior stair.
- Remove the door and frame between the porch and living room.
- Remove the recessed radiator cabinets.

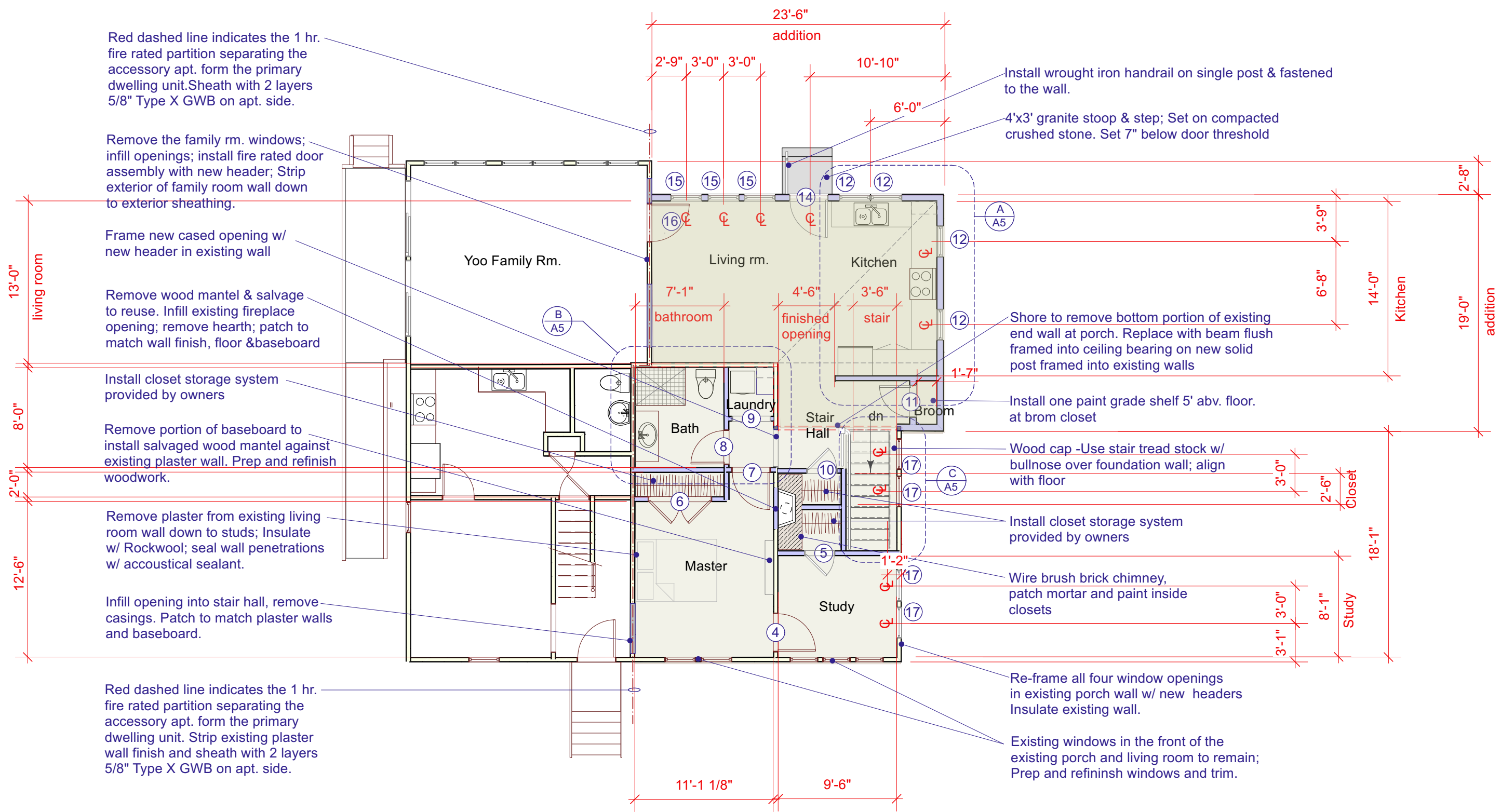
DN-3 Living room:

- Remove the wood mantel assembly and salvage for reuse.
- Remove the rear windows and the side yard window units entirely.
- Remove the plaster down to studs at the wall against the stair wall and the front exterior wall.
- Remove the plaster ceiling assembly down to the wood framing.
- Remove the wood flooring at the new bathroom location.
- Remove the recessed radiator cabinets.

DN-4 Family room:

- Remove the windows on the wall against the addition. Remove the interior casings and sill.





Red dashed line indicates the 1 hr. fire rated partition separating the accessory apt. from the primary dwelling unit. Sheath with 2 layers 5/8" Type X GWB on apt. side.

Remove the family rm. windows; infill openings; install fire rated door assembly with new header; Strip exterior of family room wall down to exterior sheathing.

Frame new cased opening w/ new header in existing wall

Remove wood mantel & salvage to reuse. Infill existing fireplace opening; remove hearth; patch to match wall finish, floor & baseboard

Install closet storage system provided by owners

Remove portion of baseboard to install salvaged wood mantel against existing plaster wall. Prep and refinish woodwork.

Remove plaster from existing living room wall down to studs; Insulate w/ Rockwool; seal wall penetrations w/ accoustical sealant.

Infill opening into stair hall, remove casings. Patch to match plaster walls and baseboard.

Red dashed line indicates the 1 hr. fire rated partition separating the accessory apt. from the primary dwelling unit. Strip existing plaster wall finish and sheath with 2 layers 5/8" Type X GWB on apt. side.

Install wrought iron handrail on single post & fastened to the wall.

4'x3' granite stoop & step; Set on compacted crushed stone. Set 7" below door threshold

Shore to remove bottom portion of existing end wall at porch. Replace with beam flush framed into ceiling bearing on new solid post framed into existing walls

Install one paint grade shelf 5' abv. floor. at broom closet

Wood cap -Use stair tread stock w/ bullnose over foundation wall; align with floor

Install closet storage system provided by owners

Wire brush brick chimney, patch mortar and paint inside closets

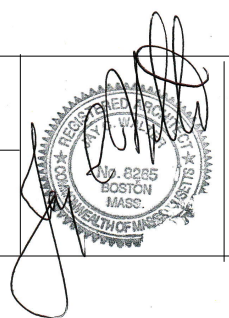
Re-frame all four window openings in existing porch wall w/ new headers Insulate existing wall.

Existing windows in the front of the existing porch and living room to remain; Prep and refinish windows and trim.

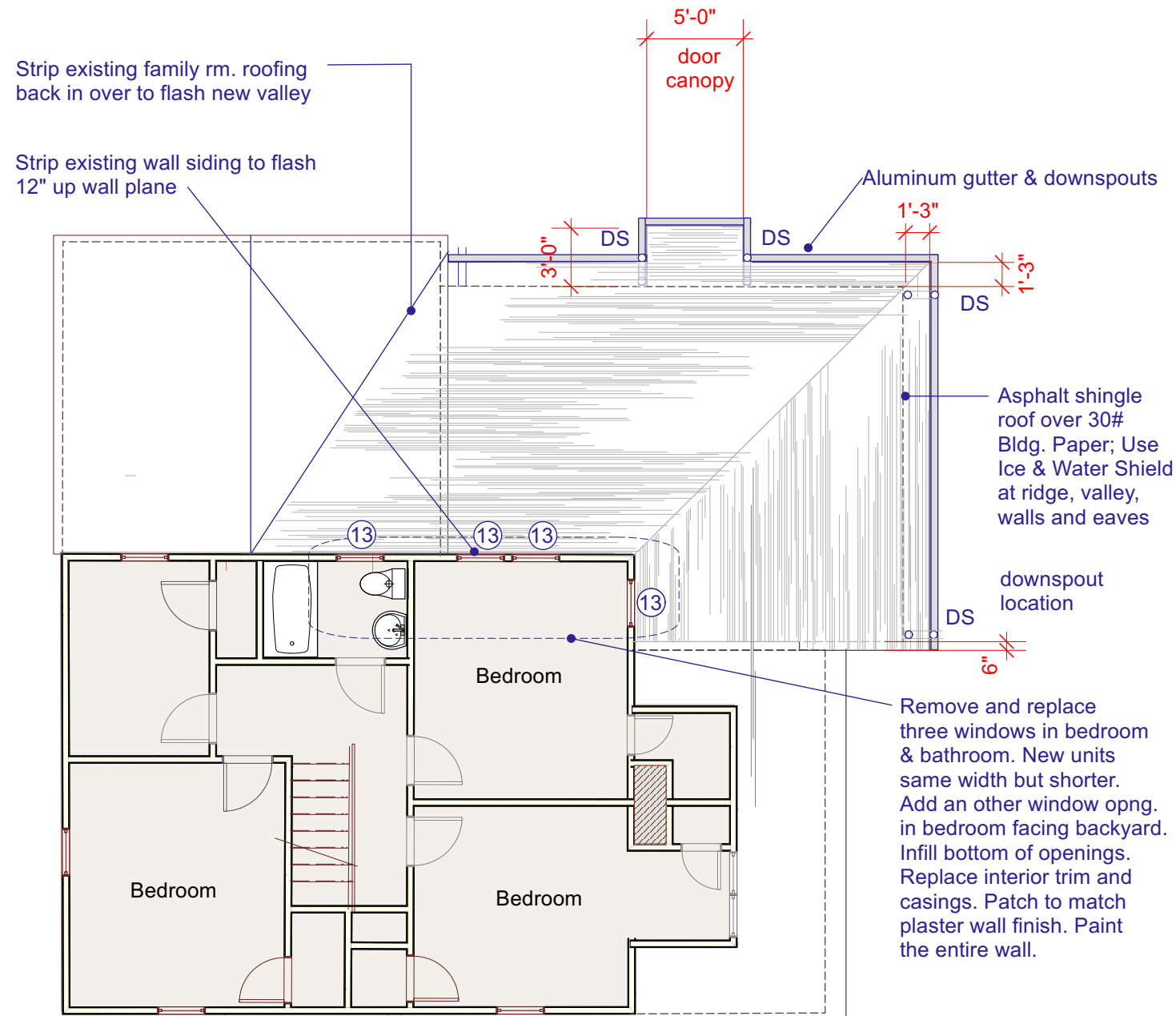
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First Floor Plan
Zollers/Yoo Residence Addition & Remodeling
 154 Oliver Road Newton, Ma.

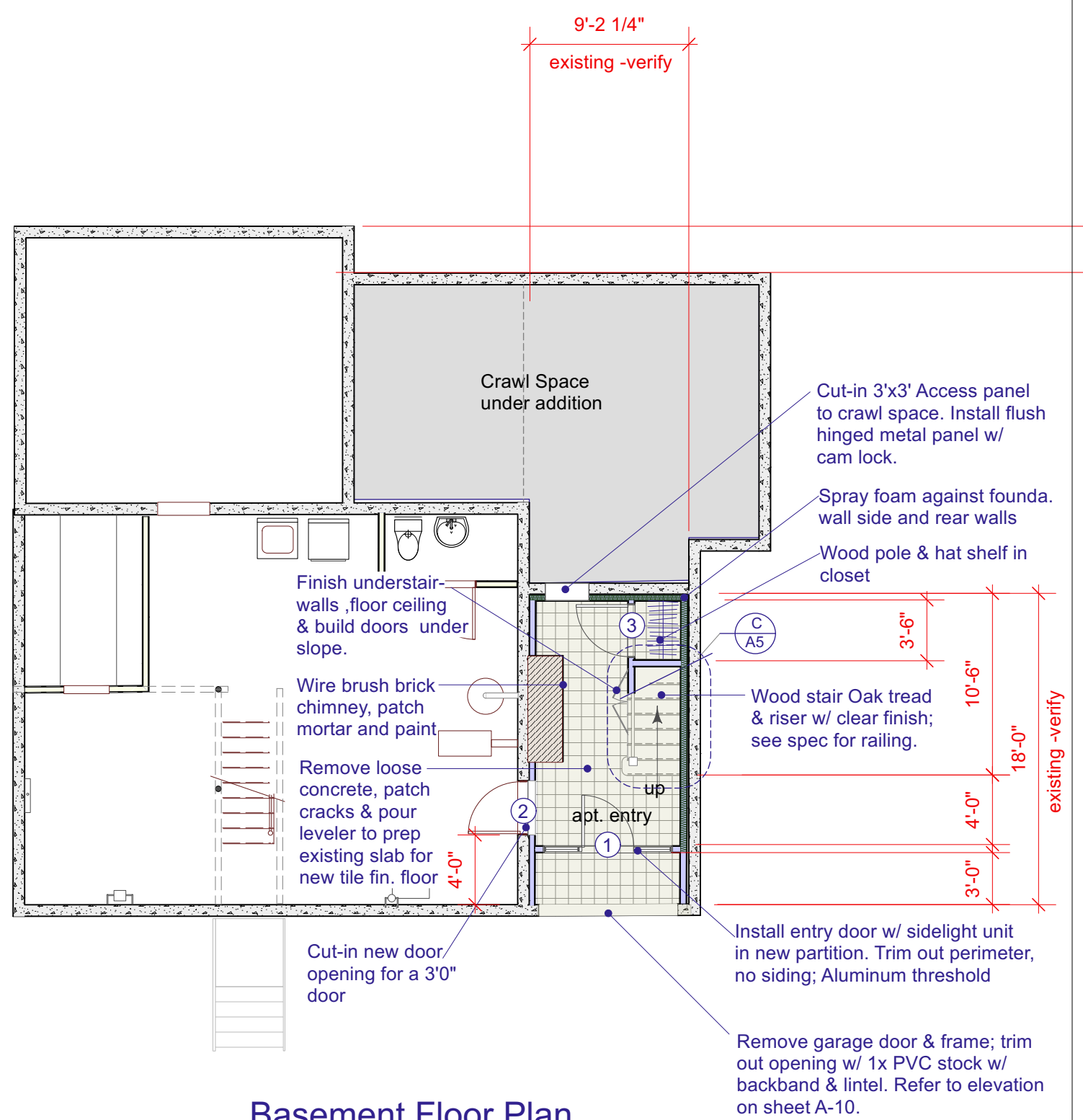
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SKETCH NO. **A-3**
 Zollers/ Yoo Residence



Existing Second Floor Plan/ Addition Roof Plan

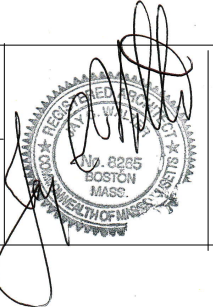


Basement Floor Plan

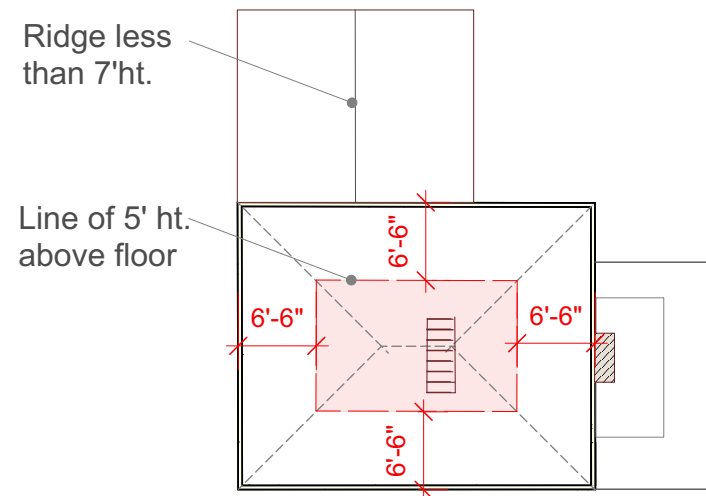
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Basement Plan/ Roof Plan
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 154 Oliver Road Newton, Ma.

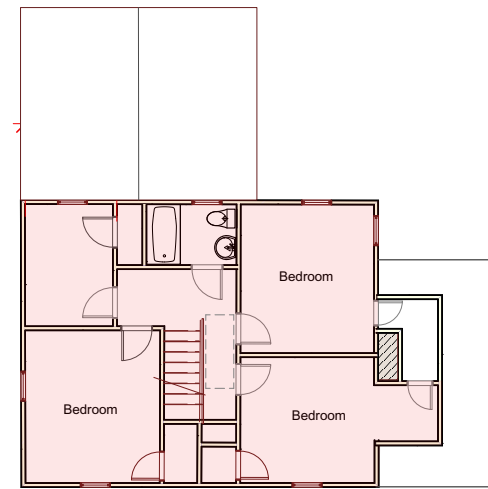
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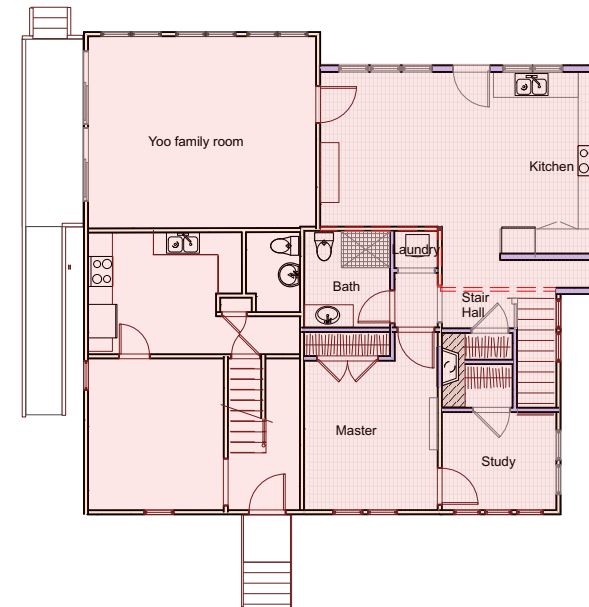
SKETCH NO.
A-4
Zollers/ Yoo Residence



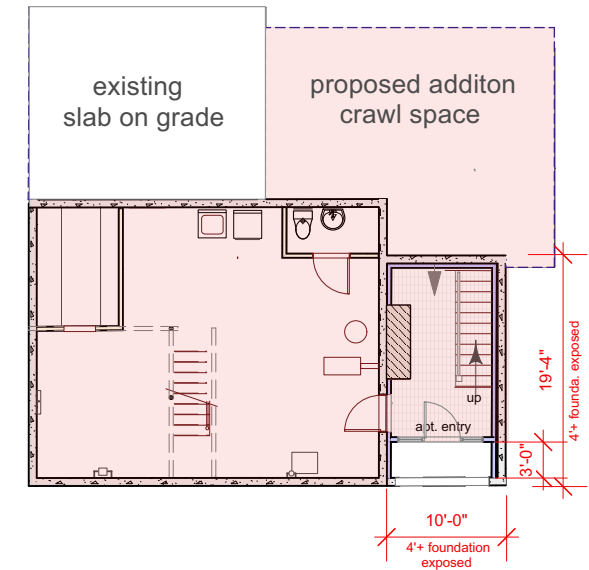
Attic



Second Floor



First Floor



Basement Floor

Note: refer to Brooks land survey w/ contours to confirm perimeter grades

Accessory Apartment Area:

Accessory Apt. Area:	
First Floor area:	848 sf
Basement Area:	<u>123 sf</u>
total area:	971 sf
Gross Habitable space:	
First Floor area:	1608 sf
Basement area:	874 sf
Second floor area:	<u>781 sf</u>
total area:	3263 sf

accessory apt/ gross inhab.= 29%
accessory apt. area = 971 sf

FAR Calculation:

Proposed house w/ additions:	
Basement: (see calc.)	217. sf
First floor:	1,608. sf
Second Floor:	738. sf
Attic:	<u>183. sf</u>
total:	2,746. sf

Allowable FAR:
district: SR2 ; lot area 6,343 sf = .44 = 2,791 sf

Basement Area Calculation:



'X' = Segments over 4' ht:
-segment 29.4 lf
'Y' = Total Perimeter = 163.1 lf

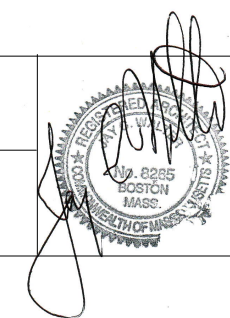
Total FAR Bsmt. Area = 1278 sf

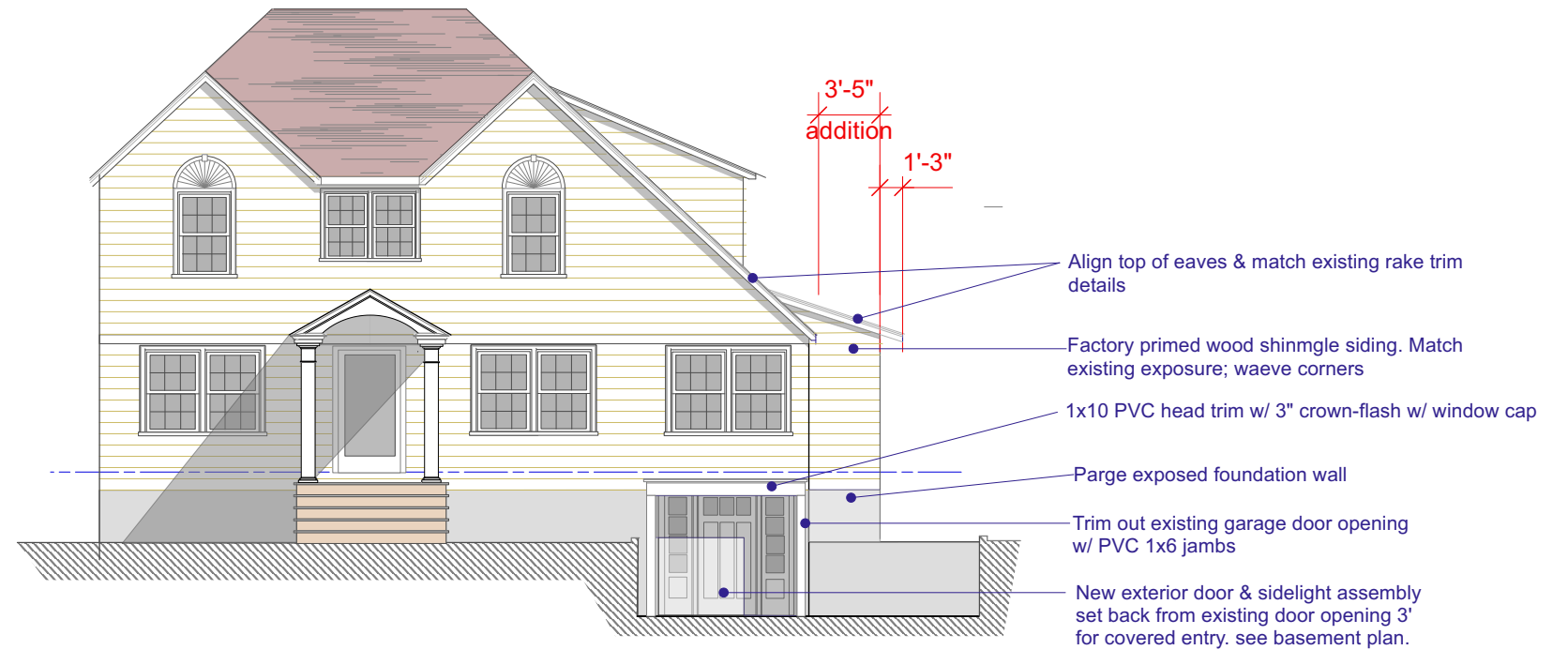
 $29.4 / 163 = .17 \times 1278 = 217 \text{ sf}$

217 sf - FAR Basement area

Legend:

-  Accessory Apt. Area
-  FAR area





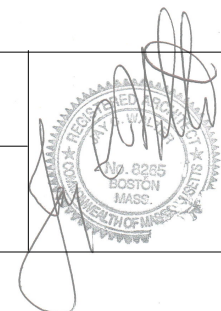
Front Elevation

Door & Window Schedule			ROUGH OPNG.	QUANT.	MFG.	PRODUCT	MFG. NUMBER	Light Layout	SILL HT.
DESIG.	ITEM	LOCATION	W X HT.						
1	exterior door	Apartment Entry	3'0" x 6'8"	one	Simpson/Brosco	Bungalow series: beaded panel w/ 9 lite; Fir	#7228	3 o 3	n/a
2	rated door	basement	field dimension	one	Brosco	Primed panel doors W/ Ovolo sticking with 20 min. rating	PR 22	none	n/a
3	Closet door	Apartment Entry	2'8" x 6'8"	one	Brosco	Primed panel doors W/ Ovolo sticking	none	none	n/a
4	interior 2 panel	Study	2'8" x 6'8"	one	Brosco	Primed panel doors W/ Ovolo sticking	PR 22	none	n/a
5 & 10	interior 2 panel	study & stair hall	2'4" x 6'8"	two	Brosco	Primed panel doors W/ Ovolo sticking	PR 22	none	n/a
7	interior 2 panel	master bedroom	3'0"x 6'8"	one	Brosco	Primed panel doors W/ Ovolo sticking	PR 22	none	n/a
8	interior 2 panel	bathroom	3'0"x 6'8"	one	Brosco	Primed panel doors W/ Ovolo sticking	PR 22	none	n/a
9	interior 2 panel	laundry	3'0"x 6'8"	one	Brosco	Primed panel doors W/ Ovolo sticking	PR 22	none	n/a
6	interior 2 panel	master closet	4'0" x 6'8"	one	Brosco	Primed panel doors W/ Ovolo sticking	PR 22	none	n/a
11	interior 2 panel	Broom closet	3'-0"x 6'8"	one	Brosco	Primed panel doors W/ Ovolo sticking	PR 22	none	n/a
12	casement windows	kitchen	2'7 1/2"x 4'0"	four	Andersen	400 series clad casement unit	CX14	3 o 3	3'6"
13	casement windows	2nd. fl bath & bed	2'7 1/2"x 3'0"	four	Andersen	400 series clad casement unit	CX13	3 o 3	4'6"
15	Double Hung	living room	2'8 1/2" x 4'8 7/8"	three	Andersen	400 series Woodwright Double Hung Full Frame	WDH2646	6 o 6	2'3"
14	exterior door	living room	3'0"x 6'8"	one	Simpson/Brosco	French door w/ waterbarrier tech.:Fir	7002 WB	one	n/a
16	rated door	living room	3'0"x 6'8"	one	Brosco	Primed panel doors W/ Ovolo sticking with 20 min. rating	PR 22	none	n/a
17	Double Hung	study/ stair hall	2'8 1/2" x 4'8 7/8"	four	Andersen	400 series Woodwright Double Hung Full Frame	WDH2646	6 o 6	2'3"

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Front Elevation/ Finish Schedule
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 154 Oliver Road Newton, Ma.

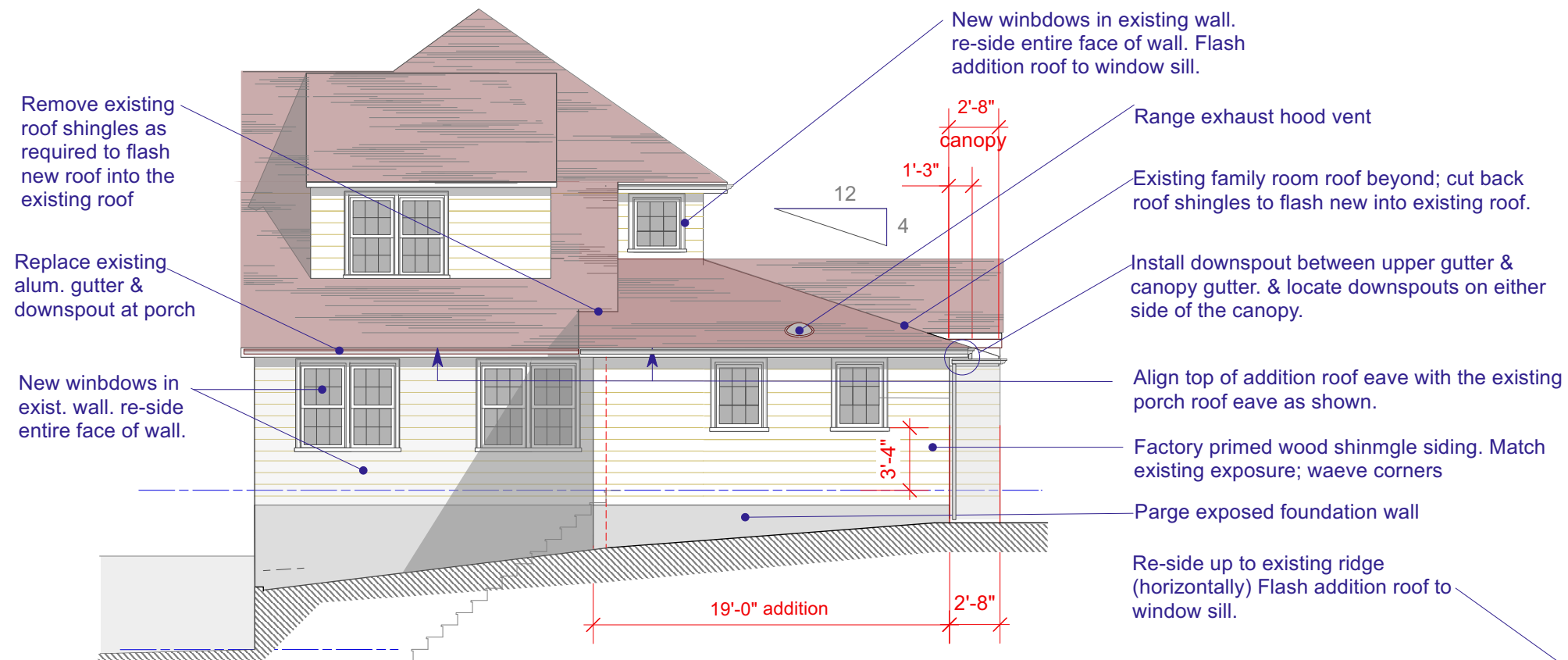
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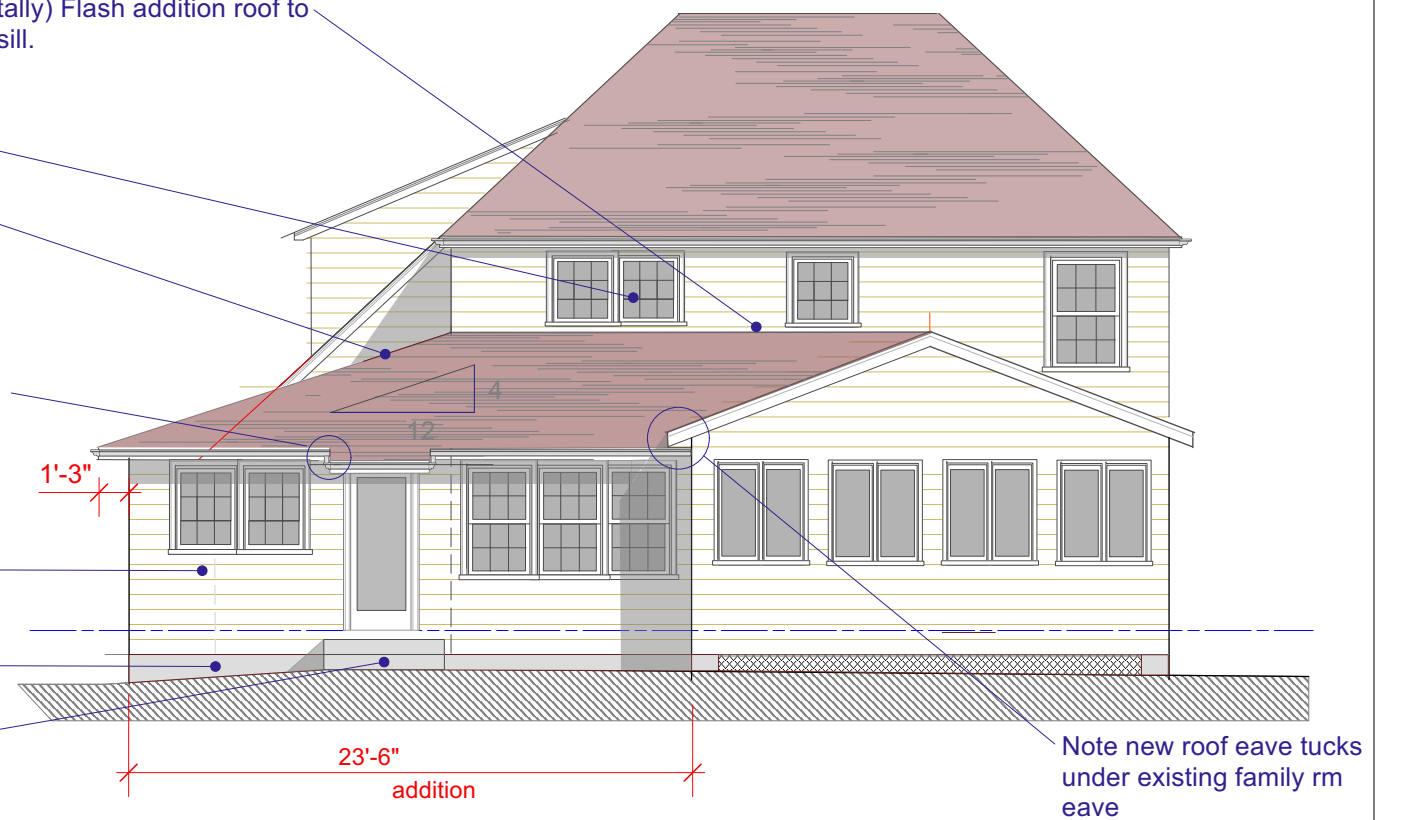
A-8

Zollers/ Yoo Residence



Side elevation

- Frame new window beside existing bedroom window
- Cut back existing porch rake to intersect with new roof. Build flashed cricket behind eave for drainage. Flash new roof into existing sidewall; Reshingle wood siding at remaining wall
- Connect the two gutters with a downspout at both sides of the entry canopy.
- Factory primed wood shingle siding. Match existing exposure; waive corners
- Parge exposed foundation wall
- Granite stoop & step set over crushed stone base. caulk against wall w/ grey sealant.

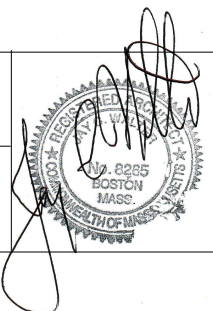


Rear elevation

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Exterior Elevations
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DATE:
 6/4/22 SP app.
 SCALE:
 1/16" = 1'-0"



SKETCH NO.

A-9

Zollers/ Yoo Residence