

City of Newton Planning and Development

Petition: #419-22

Special Permit/Site Plan Approval to
construct two-story additions to the front and
rear of the dwelling, further reducing and
vertically extending the nonconforming front
setbacks at 148 Auburndale Ave

October 6, 2022



148 Auburndale Ave

Zoning Relief

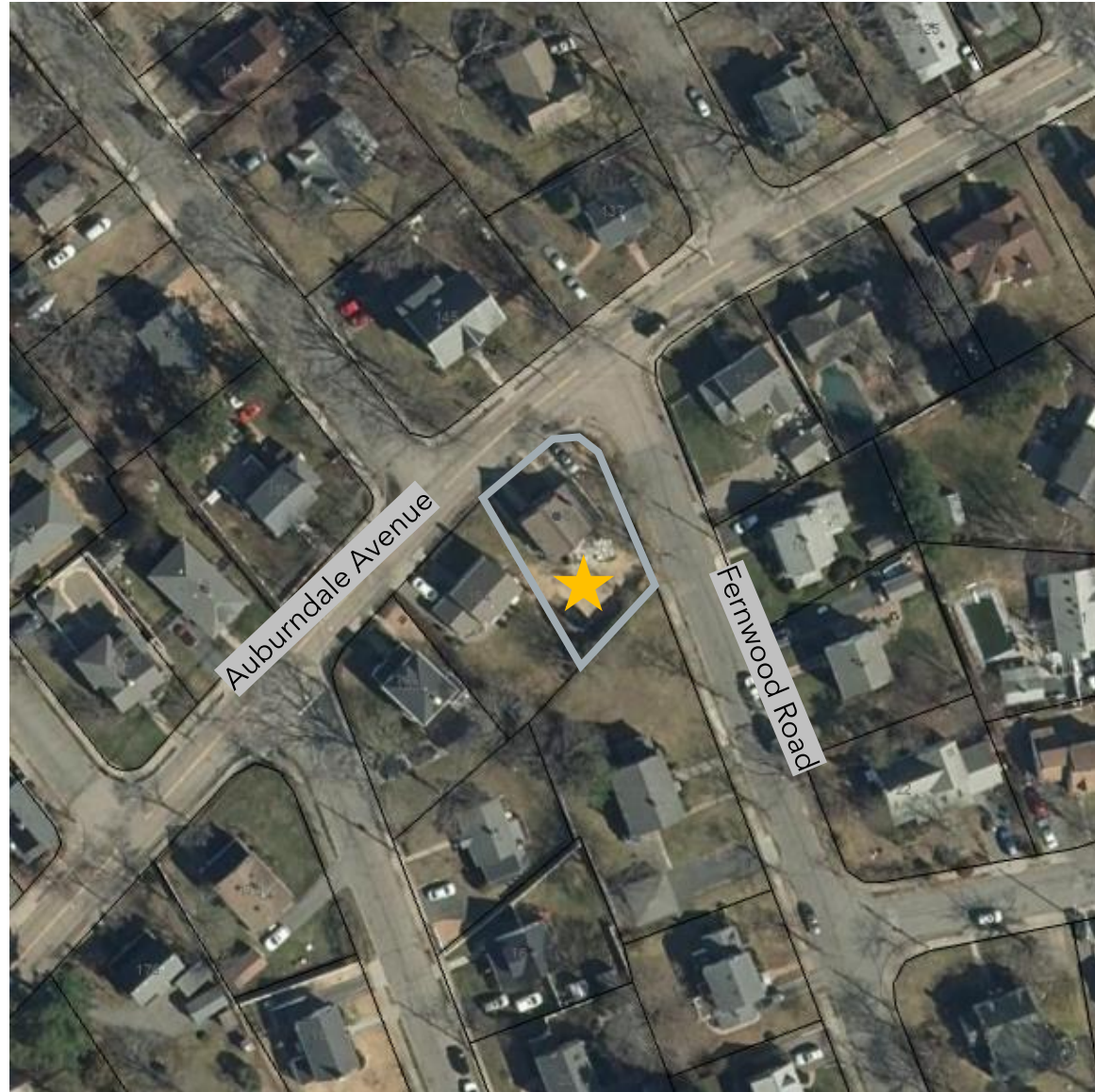
Zoning Relief Required		
<i>Ordinance</i>		<i>Action Required</i>
§3.1.3 §7.8.2.C.2	To further reduce and vertically extend nonconforming front setbacks	S.P. per §7.3.3

Criteria to Consider

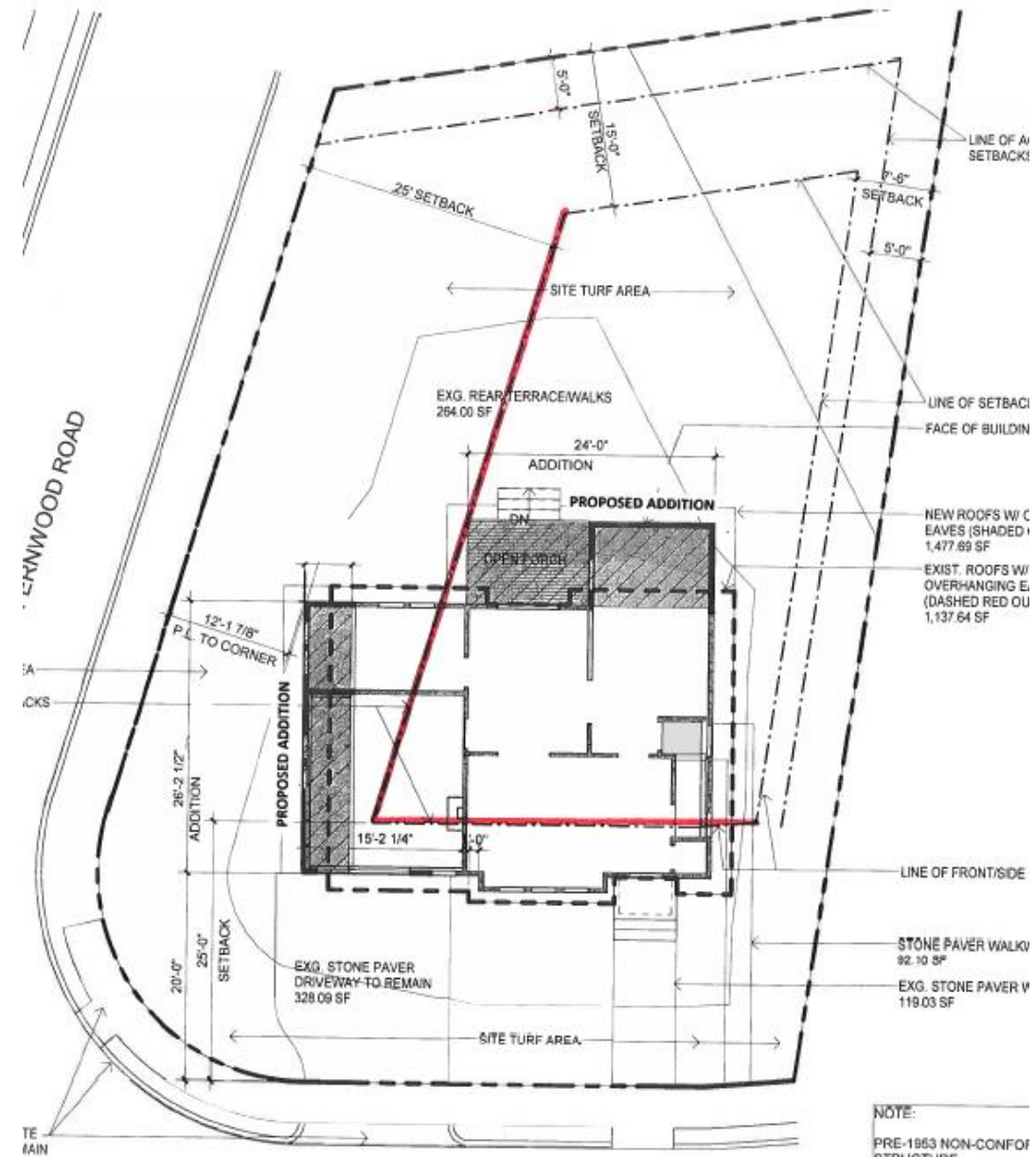
When reviewing this request, the Council should consider:

- The proposed addition that would further extend the nonconforming front setback on Auburndale Avenue is not substantially more detrimental than the existing nonconforming structure is to the neighborhood. (§3.1.3 and §7.8.2.C.2)
- The proposed addition that would further extend the nonconforming front setback on Fernwood Road is not substantially more detrimental than the existing nonconforming structure is to the neighborhood. (§3.1.3 and §7.8.2.C.2)

Aerial Map



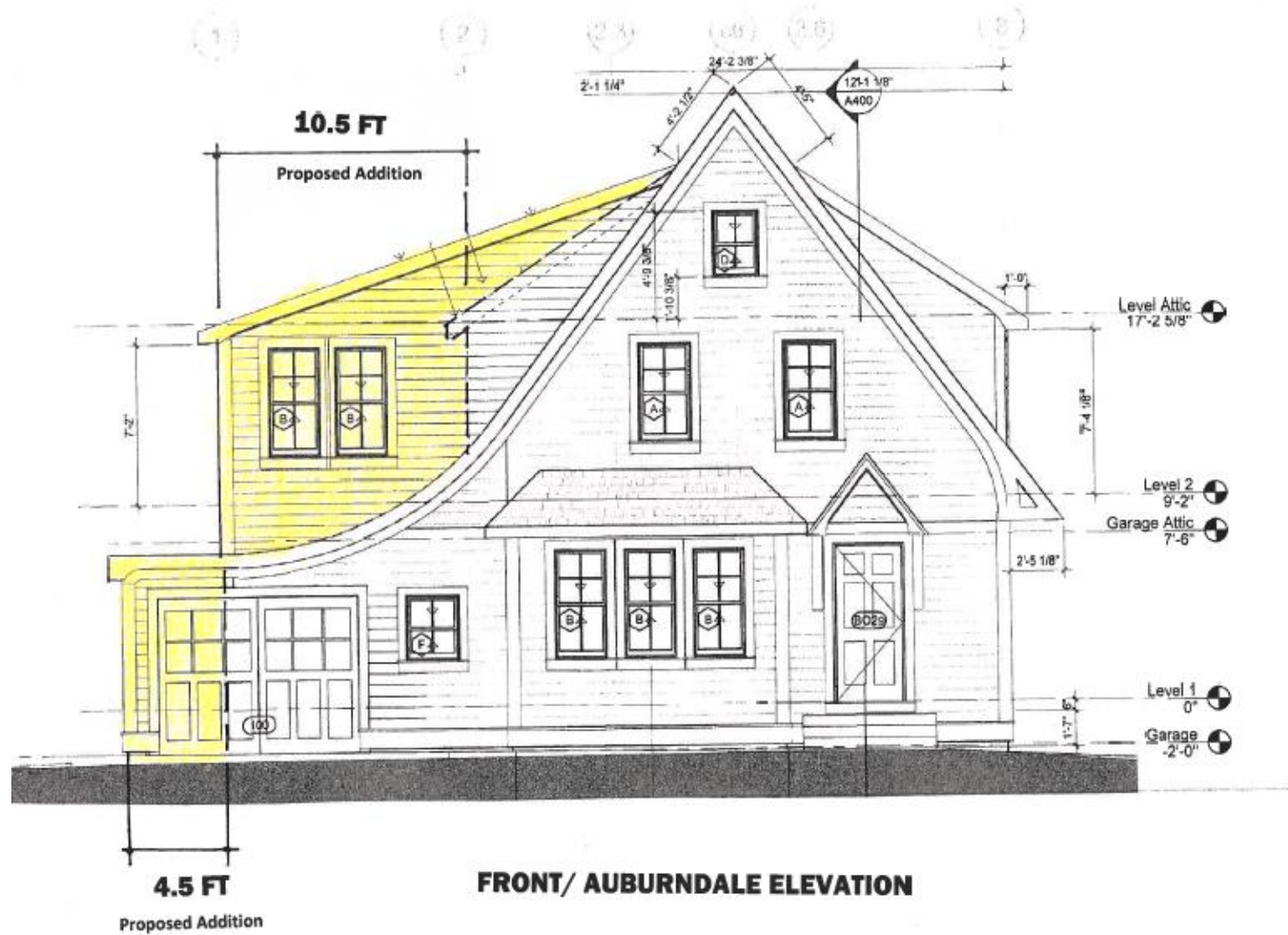
Site Plan



NOTE:
 PRE-1953 NON-CONFORMING STRUCTURE
 1953 MINIMUM SETBACK

Plans

Proposed Front Elevation



Plans

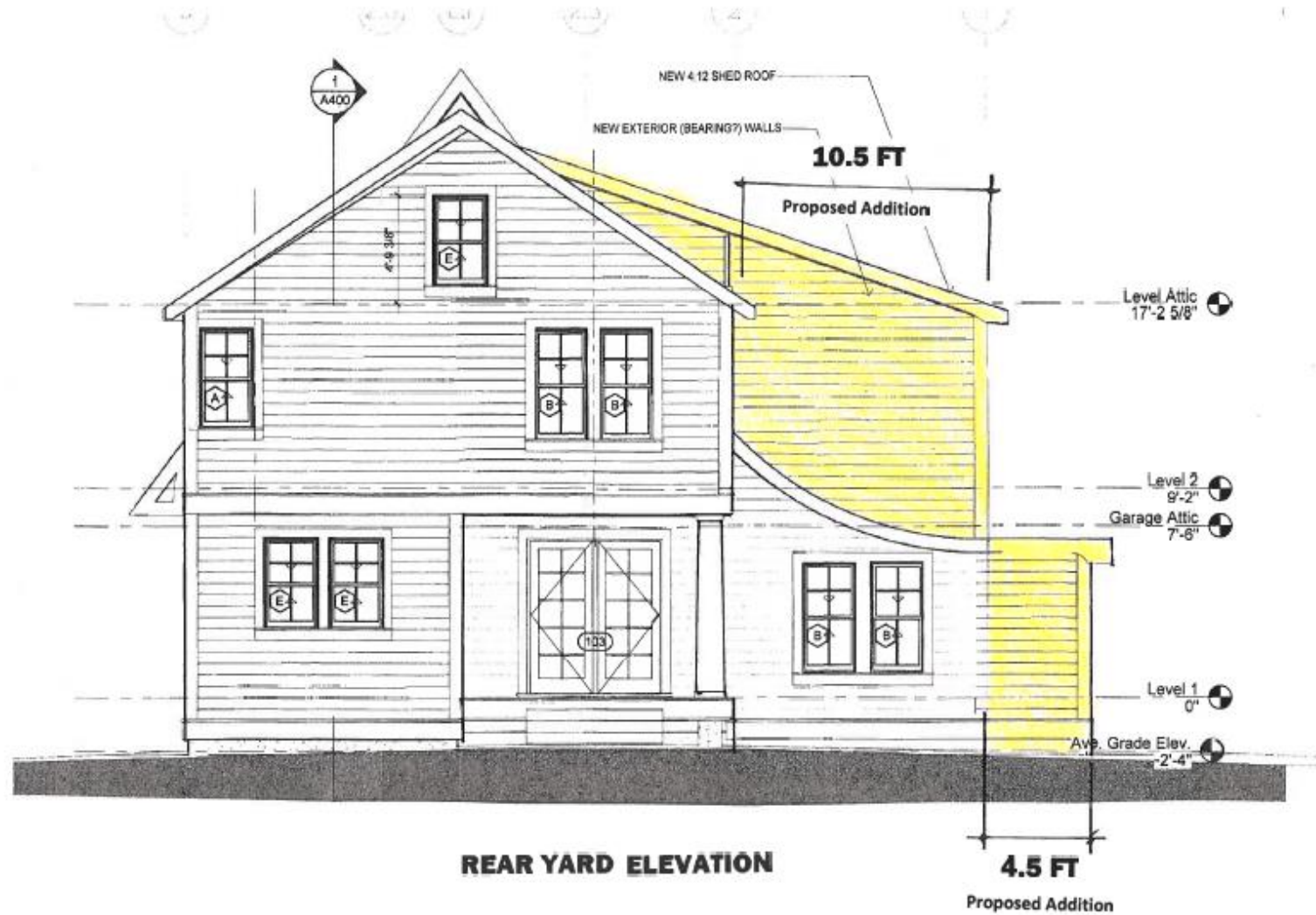
Proposed Side Elevation



SIDE/ FERNWOOD ELEVATION

Plans

Proposed Rear Elevation



Findings

1. The proposed addition that would further extend the nonconforming front setback on Auburndale Avenue is not substantially more detrimental than the existing nonconforming structure is to the neighborhood because **the setback is being maintained at 20 feet.** (§3.1.3 and §7.8.2.C.2)
2. The proposed addition that would vertically extend and reduce the nonconforming front setback on Fernwood Road is not substantially more detrimental than the existing nonconforming structure is to the neighborhood because **the addition expands the footprint by less than five feet and the additional massing that extends the setback is located within the footprint of the structure.** (§3.1.3 and §7.8.2.C.2)

Conditions

1. Plan Referencing
2. Standard Building Permit Condition
3. Standard Occupancy Condition