

53 Wendell Road

Newton, Massachusetts

October 29, 2019

Notice of Intent

Prepared For:

Ron and Karin Zalkind
53 Wendell Road
Newton, MA

Prepared By:



14 Spring Street
1st Floor
Waltham, MA 02451

DEI #190027

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City of Newton Checklist



Ruthanne Fuller
Mayor

City of Newton, Massachusetts
 Department of Planning and Development
 1000 Commonwealth Avenue Newton, Massachusetts 02459

Telephone
(617) 796-1120
 Telefax
(617) 796-1086
 www.newtonma.gov

Barney S. Heath
Director

Cons. Com. Wetland Application Coversheet/Checklist

Date	2019-10-27
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Fill in all white cells completely

Parcel address Sec/Block/Lot Book & Page	53 Wendell Road Newton, Ma 02459 81015 0002 58803 443	Applicant name Address Email Phone	Ron and Karin Zalkind 53 Wendell Road ronzlk@gmail.com
Owner name Address Email Phone	Same as Applicant	Representative Address Email Phone	William Doyle, PE Doyle Engineering, Inc. 14 Spring Street Waltham, MA 02453 781-850-2731

Wetland type	Flood Zone	sf/cf affected	2,572 SF	Relevant Perf. Standards	10. _____
Wetland type		sf/cf affected		Relevant Perf. Standards	10. _____
Wetland type		sf/cf affected		Relevant Perf. Standards	10. _____

Components of a Complete NOI Application

State Form: NOI Form 3	Included? <input type="checkbox"/> Yes <input type="checkbox"/> No
Plan title(s) Plan date Plan stamped by	Site Plan - Proposed Pool October 29, 2019 William Doyle, PE and Christina Campa, RLA
Narrative	Included? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Proof that all relevant perf. standards are met	Included? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Locus map	Included? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Delineation lines (backup material)	Included? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Fees ● Fee Transmittal form ● City portion of state fee <u>\$ 67.50</u> ● City fee <u>\$50</u>	Included? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No Included? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No Included? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Abutter Information ● List ● Abutter letter ● Affidavit & proof -- bring to hearing	Included? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No Included? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <i>Present them at the hearing</i>
Other Attachments, e.g.	
Planting Plan	Included? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> Not Applicable
Floodplain analysis	Included? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> Not Applicable
Stormwater analysis	Included? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> Not Applicable
Riverfront Area Alternatives Analysis	Included? <input type="checkbox"/> Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> Not Applicable
Restoration or mitigation summary	Included? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> Not Applicable
Phasing/Sequencing plan, O&M plan, etc.	Included? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> Not Applicable

Components of a Complete NOI Application

Conservation Commission Wetland Permit Process

NOI	RDA	Process
1	-	<p>Submit applications (see bullets below) by noon of the Tuesday deadline (16 days before desired hearing):</p> <p>a. <u>To Newton Conservation Commission</u>: 1000 Comm Ave., Newton, MA 02459</p> <ul style="list-style-type: none"> • This coversheet (1 paper copy) • Complete application (2 paper copies and 1 .pdf) -- see other side of this page for checklist • Check (city portion of the state fee) • \$50 check city fee <p>b. <u>To Mass DEP Northeast Regional Office</u>: 205B Lowell Street, Wilmington, MA 01887</p> <ul style="list-style-type: none"> • Complete application (see other side of this page): 1 paper copy • Photocopy of the two state checks <p>c. <u>To DEP Lock Box</u>: Box 4062, Boston MA 02211</p> <ul style="list-style-type: none"> • Check (state portion of the state fee) • Fee transmittal form
	1	<p>Submit application by noon of the Tuesday deadline (16 days before the desired hearing):</p> <p>a. DEP Form 1 (RDA), b. plans, and c. \$50 check made out to the City of Newton.</p>
-	-	<i>The Conservation Agent will schedule a Public hearing/meeting.</i>
2	-	Get a certified list of abutters from the Assessor's Office.
3	-	Once you know the date and time of the hearing, notify abutters within 100' of the property line using the City's " Notification to Abutters Form " and certified mail, certificate of mailing, or hand delivery with signatures . (N.B. Present proof of notification at the beginning of the public hearing.)
4	2	<i>The Conservation Agent will place a legal ad in the TAB and the Applicant will be billed for the ad.</i>
5	-	Stake the project. 2 weeks in advance of the public hearing, stake all new structures, erosion control barriers, stormwater systems, etc. within Con Com jurisdiction.
-	-	<i>The Conservation Agent will perform a site visit before the public hearing to confirm existing conditions and proposed work. If you wish to be informed of the time of the visit, please contact the Con Com office.</i>
6	3	<p>Attend the public hearing/meeting. The applicant or representative is expected to provide proof of abutter notification, briefly present the project, and answer any questions about possible impacts on wetlands. At the end of the hearing, the Con Com will either:</p> <ul style="list-style-type: none"> • Issue a Determination of Applicability ("negative" determination means no further permitting is needed), • Issue an Order of Conditions (OOC) approving or denying the project, or • Approve a continuation of the public hearing to allow time for additional information to be provided.
7	4	Receive and read the decision and understand the conditions. Contact the Con Com if you have any questions. Some conditions are temporary (such as maintaining erosion controls), and some are perpetual (such as maintaining restoration planting areas or limiting the use of fertilizers and outdoor lighting).
8	-	Wait-out the 10-Day appeal period. A decision of the Con Com can be appealed to MassDEP by any abutter, applicant, or 10-citizen group within 10 business days of the decision.
9	-	Record the Order at the Registry of Deeds. Provide proof of recording to the Conservation office.
10	-	Install MassDEP file number sign and erosion controls.
11	-	Schedule and attend a pre-construction site visit. Contact the Conservation office to schedule the site visit.
12	5	Execute the project. The project must be completed within 3 years, unless an extension of the permit is issued; extensions must be requested least 30 days prior to the expiration of the permit.
13	-	Request a Certificate of Compliance (COC). Once the project is completed and all conditions are satisfied, request a COC from the Conservation office by submitting: (1) DEP Form 8a , (2) an as-built plan , and (3) a letter from the engineer stating that everything is in substantial compliance with the approved plans and OOC. The Con Com will perform a site visit to ensure compliance and issue a COC if appropriate.
14	-	Record the Certificate of Compliance (COC) at the Registry of Deeds to remove the cloud from the title. Provide proof of recording to the Conservation office.

INCOMPLETE APPLICATIONS WILL NOT BE ACCEPTED.

Project Narrative



14 Spring Street, 2nd Floor • Waltham, Massachusetts 02451 • 781-850-2731

October 29, 2019

Chairman and Commissioners
City of Newton Conservation Commission
Planning and Development Department
1000 Commonwealth Ave
Newton, MA 02459

re: 53 Wendell – Pool Installation
Newton, MA
DEI #190027

Newton Conservation Commission,

Chairman and Commissioners of the Newton Conservation Commission; Doyle Engineering Inc., (DEI) is pleased to submit the attached Notice of Intent and associated plans in compliance with the Massachusetts Wetlands and Rivers Protection Acts. DEI has been contracted by Mr. Ron and Ms. Karin Zalkind of 53 Wendell Road to provide professional engineering services associated with the development of plans and details for the residential site improvements required to install an inground pool at their property, DEI is pleased to submit this Notice of Intent and associated information.

Project Narrative

The project is for the installation of an inground pool at the rear of the newly constructed home in an area that is within a bordering land subject to flooding. The rear yard slopes away from the house, north, towards the rear property line. The yard steps from the upper yard to the lower yard at a distinct grade break at the location of what is close to the 100-year flood line. As indicated, the pool project is a follow-up project to the construction of the house which was completed several months ago in the summer of 2019. As part of the home construction close out and certificate of compliance, an as-built plan of the site was developed, this as-built plan was originally proposed for use at the base survey for the pool and landscaping design, however during design of the pool, drainage and landscaping a review of the as-built plan was conducted and it was discovered that during construction of the house, the flood zone had been filled at the location of the grade break. The pool design team alerted the Conservation agent of the filling and discussed how we would return the flood zone to the original condition prior to the house construction. The proposed pool project will remove the fill material from the flood zone, install a new inground pool, install stormwater mitigation measures, remove three trees and install landscaping throughout the property.

Flood Zone – As indicated above, during previous construction activities at the site, material was graded into the flood zone. As part of this pool project, flood zone calculation and the appropriate grading is required to assure that no flood zone capacity is lost. The design team worked to design the pool and other site grading improvements so that not only will the fill material be removed but the proposed grading at the grade break will remove additional material to provide a slight increase in flood capacity.

A flood zone comparison chart has been added to the design plans illustrating how the flood capacity is increased at all elevation affected by the pool project from elevation 116 to elevation 121.

Drainage Design – As part of this Notice of Intent filing, per the City of Newton Drainage requirements, DEI has developed a drainage design and associated drainage calculation that illustrate hoe the proposed project will mitigate the increase in stormwater runoff that may be generated by the pool construction. The plans illustrate a proposed infiltration trench bisecting the rear yard of the property at the location of the flood zone grade break. The challenge of the drainage design it to provide the required stormwater mitigation outside of the flood zone, for impervious area located within the flood zone. The proposed design accomplishes the required mitigation by capturing all of the stormwater that runs off the lawn area above the flood zone and infiltrating it above the flood zone. By collecting and infiltrating all the runoff from the upper yard area, the design overcompensates for the area below the grade break in the flood zone, so that the net runoff rate at the rear property line is less than in the current condition.

In addition to the proposed drainage design and infiltration trench, the rear yard below the grade break is designed with an additional low point at the rear property line. This low point alone could provide all of the mitigation needed to meet the City of Newton requirements, if it were not located within the flood zone. This low point is also proposed to be planted with significant landscaping with plants of varying species and size to create a forested feel. The result of the site design is that for the times when there is not a 100-year flood, the property will outperform the City standards by more than double.

Pool Installation – The proposed pool is to be located within the rear yard at the elevation of the flood zone. The pool deck is proposed at elevation 119.5+/- . The pool will be a concrete inground with minimal decking at the north and south sides. The east side will be the area where the larges decking is located.

Tree Removal – The proposed site design requires the removal of three trees. One tree is located directly where the pool is being proposed. The location of the pool was chosen primarily to minimize impact to the large canopy trees on the site.

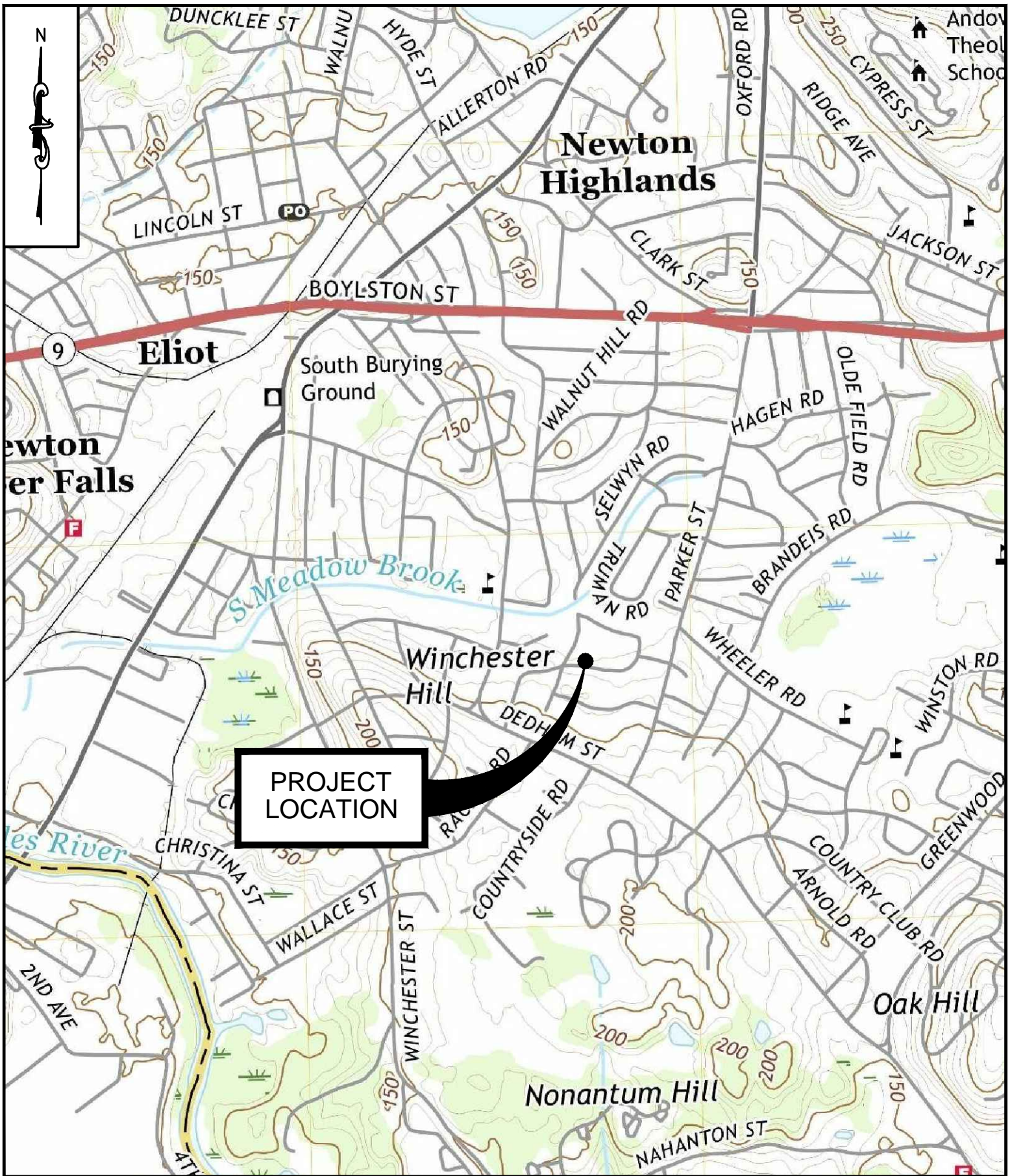

Landscape Plan – The proposed landscape has taken into consideration the existing conditions of dense canopy and limited understory. The plan illustrates the installation of 15 trees totaling 42 caliper inches and shrub planting of 98 native varieties.

DEI has worked with the property owners and the design team to advance the site design in accordance with local and state standards and requirements. DEI and the design team welcome comments from the Newton Conservation Commission and the Massachusetts Department of Environmental Protection, (MADEP) to help advance the proposed project in a mutually beneficial way.

Please feel free to call if you have any question, we look forward to discussing the project further.

William Doyle, PE
President

Locus Map

SITE DESIGN
 CIVIL ENGINEERING
 LAND PLANNING
 DESIGN • ENGINEERING • INNOVATION
 www.doyeeng.com

No.	Description	Date
DWG ISSUE & REVISION HISTORY		

Stamp:

Drawing Title:
 53 WENDELL ROAD
 LOCUS PLAN
 NEWTON, MA

Project No. 190027 Scale: 1" = 1,000'
 Drawn By: WAD
 Checked By: WAD
 Approved By: WAD
 Date: OCTOBER 2019
 Drawing No.

Notice of Intent Form #3



Massachusetts Department of Environmental Protection
 Bureau of Resource Protection - Wetlands

WPA Form 3 – Notice of Intent

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Provided by MassDEP:

MassDEP File Number

Document Transaction Number

Newton

City/Town

Important:
 When filling out forms on the computer, use only the tab key to move your cursor - do not use the return key.



Note:
 Before completing this form consult your local Conservation Commission regarding any municipal bylaw or ordinance.

A. General Information

1. Project Location (**Note:** electronic filers will click on button to locate project site):

53 Wendell Road
 a. Street Address

Newton
 b. City/Town

02459
 c. Zip Code

42.311273
 d. Latitude

-71.199227
 e. Longitude

81015 0002
 f. Assessors Map/Plat Number

g. Parcel /Lot Number

2. Applicant:

Ron and Karin
 a. First Name

Zalkind
 b. Last Name

Home Owner
 c. Organization

53 Wendell Road
 d. Street Address

Newton
 e. City/Town

MA
 f. State

02459
 g. Zip Code

617-599-8585
 h. Phone Number

i. Fax Number

ronzlk@gmail.com
 j. Email Address

3. Property owner (required if different from applicant): Check if more than one owner

Same
 a. First Name

b. Last Name

c. Organization

d. Street Address

e. City/Town

f. State

g. Zip Code

h. Phone Number

i. Fax Number

j. Email address

4. Representative (if any):

William
 a. First Name

Doyle
 b. Last Name

Doyle Engineering, Inc.
 c. Company

14 Spring Street
 d. Street Address

Waltham
 e. City/Town

MA
 f. State

02459
 g. Zip Code

781-580-2731
 h. Phone Number

i. Fax Number

wdoyle@doyleeng.com
 j. Email address

5. Total WPA Fee Paid (from NOI Wetland Fee Transmittal Form):

\$110.00
 a. Total Fee Paid

\$42.50
 b. State Fee Paid

\$62.50
 c. City/Town Fee Paid



Massachusetts Department of Environmental Protection
Bureau of Resource Protection - Wetlands

WPA Form 3 – Notice of Intent

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

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A. General Information (continued)

6. General Project Description:

Installation of inground pool within a flood zone, no BVW or Riverfront Area

7a. Project Type Checklist: (Limited Project Types see Section A. 7b.)

- 1. Single Family Home
- 2. Residential Subdivision
- 3. Commercial/Industrial
- 4. Dock/Pier
- 5. Utilities
- 6. Coastal engineering Structure
- 7. Agriculture (e.g., cranberries, forestry)
- 8. Transportation
- 9. Other

7b. Is any portion of the proposed activity eligible to be treated as a limited project (including Ecological Restoration Limited Project) subject to 310 CMR 10.24 (coastal) or 310 CMR 10.53 (inland)?

- 1. Yes No If yes, describe which limited project applies to this project. (See 310 CMR 10.24 and 10.53 for a complete list and description of limited project types)

2. Limited Project Type

If the proposed activity is eligible to be treated as an Ecological Restoration Limited Project (310 CMR10.24(8), 310 CMR 10.53(4)), complete and attach Appendix A: Ecological Restoration Limited Project Checklist and Signed Certification.

8. Property recorded at the Registry of Deeds for:

Middlesex

a. County

48803

c. Book

b. Certificate # (if registered land)

443

d. Page Number

B. Buffer Zone & Resource Area Impacts (temporary & permanent)

- 1. Buffer Zone Only – Check if the project is located only in the Buffer Zone of a Bordering Vegetated Wetland, Inland Bank, or Coastal Resource Area.
- 2. Inland Resource Areas (see 310 CMR 10.54-10.58; if not applicable, go to Section B.3, Coastal Resource Areas).

Check all that apply below. Attach narrative and any supporting documentation describing how the project will meet all performance standards for each of the resource areas altered, including standards requiring consideration of alternative project design or location.



Massachusetts Department of Environmental Protection
 Bureau of Resource Protection - Wetlands

WPA Form 3 – Notice of Intent

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

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B. Buffer Zone & Resource Area Impacts (temporary & permanent) (cont'd)

For all projects affecting other Resource Areas, please attach a narrative explaining how the resource area was delineated.

Resource Area	Size of Proposed Alteration	Proposed Replacement (if any)
a. <input type="checkbox"/> Bank	1. linear feet	2. linear feet
b. <input type="checkbox"/> Bordering Vegetated Wetland	1. square feet	2. square feet
c. <input type="checkbox"/> Land Under Waterbodies and Waterways	1. square feet	2. square feet
	3. cubic yards dredged	

Resource Area	Size of Proposed Alteration	Proposed Replacement (if any)
d. <input checked="" type="checkbox"/> Bordering Land Subject to Flooding	2,572	2,572
	1. square feet	2. square feet
	0	252.2
e. <input type="checkbox"/> Isolated Land Subject to Flooding	3. cubic feet of flood storage lost	4. cubic feet replaced
	1. square feet	
f. <input type="checkbox"/> Riverfront Area	2. cubic feet of flood storage lost	3. cubic feet replaced
	1. Name of Waterway (if available) - specify coastal or inland	

2. Width of Riverfront Area (check one):

- 25 ft. - Designated Densely Developed Areas only
- 100 ft. - New agricultural projects only
- 200 ft. - All other projects

3. Total area of Riverfront Area on the site of the proposed project: _____ square feet

4. Proposed alteration of the Riverfront Area:

a. total square feet _____ b. square feet within 100 ft. _____ c. square feet between 100 ft. and 200 ft. _____

5. Has an alternatives analysis been done and is it attached to this NOI? Yes No

6. Was the lot where the activity is proposed created prior to August 1, 1996? Yes No

3. Coastal Resource Areas: (See 310 CMR 10.25-10.35)

Note: for coastal riverfront areas, please complete **Section B.2.f.** above.



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B. Buffer Zone & Resource Area Impacts (temporary & permanent) (cont'd)

Check all that apply below. Attach narrative and supporting documentation describing how the project will meet all performance standards for each of the resource areas altered, including standards requiring consideration of alternative project design or location.

Online Users:
 Include your document transaction number (provided on your receipt page) with all supplementary information you submit to the Department.

<u>Resource Area</u>	<u>Size of Proposed Alteration</u>	<u>Proposed Replacement (if any)</u>
a. <input type="checkbox"/> Designated Port Areas	Indicate size under Land Under the Ocean, below	
b. <input type="checkbox"/> Land Under the Ocean	_____	
	1. square feet	

	2. cubic yards dredged	
c. <input type="checkbox"/> Barrier Beach	Indicate size under Coastal Beaches and/or Coastal Dunes below	
d. <input type="checkbox"/> Coastal Beaches	_____	_____
	1. square feet	2. cubic yards beach nourishment
e. <input type="checkbox"/> Coastal Dunes	_____	_____
	1. square feet	2. cubic yards dune nourishment
	<u>Size of Proposed Alteration</u>	<u>Proposed Replacement (if any)</u>
f. <input type="checkbox"/> Coastal Banks	_____	
	1. linear feet	
g. <input type="checkbox"/> Rocky Intertidal Shores	_____	
	1. square feet	
h. <input type="checkbox"/> Salt Marshes	_____	_____
	1. square feet	2. sq ft restoration, rehab., creation
i. <input type="checkbox"/> Land Under Salt Ponds	_____	
	1. square feet	

	2. cubic yards dredged	
j. <input type="checkbox"/> Land Containing Shellfish	_____	
	1. square feet	
k. <input type="checkbox"/> Fish Runs	Indicate size under Coastal Banks, inland Bank, Land Under the Ocean, and/or inland Land Under Waterbodies and Waterways, above	

	1. cubic yards dredged	
l. <input type="checkbox"/> Land Subject to Coastal Storm Flowage	_____	
	1. square feet	
4. <input type="checkbox"/> Restoration/Enhancement	If the project is for the purpose of restoring or enhancing a wetland resource area in addition to the square footage that has been entered in Section B.2.b or B.3.h above, please enter the additional amount here.	
	_____	_____
	a. square feet of BVW	b. square feet of Salt Marsh
5. <input type="checkbox"/> Project Involves Stream Crossings		
	_____	_____
	a. number of new stream crossings	b. number of replacement stream crossings



Massachusetts Department of Environmental Protection
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WPA Form 3 – Notice of Intent

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C. Other Applicable Standards and Requirements

- This is a proposal for an Ecological Restoration Limited Project. Skip Section C and complete Appendix A: Ecological Restoration Limited Project Checklists – Required Actions (310 CMR 10.11).

Streamlined Massachusetts Endangered Species Act/Wetlands Protection Act Review

1. Is any portion of the proposed project located in **Estimated Habitat of Rare Wildlife** as indicated on the most recent Estimated Habitat Map of State-Listed Rare Wetland Wildlife published by the Natural Heritage and Endangered Species Program (NHESP)? To view habitat maps, see the *Massachusetts Natural Heritage Atlas* or go to http://maps.massgis.state.ma.us/PRI_EST_HAB/viewer.htm.

- a. Yes No **If yes, include proof of mailing or hand delivery of NOI to:**

**Natural Heritage and Endangered Species Program
Division of Fisheries and Wildlife
1 Rabbit Hill Road
Westborough, MA 01581**

b. Date of map _____

If yes, the project is also subject to Massachusetts Endangered Species Act (MESA) review (321 CMR 10.18). To qualify for a streamlined, 30-day, MESA/Wetlands Protection Act review, please complete Section C.1.c, and include requested materials with this Notice of Intent (NOI); *OR* complete Section C.2.f, if applicable. *If MESA supplemental information is not included with the NOI, by completing Section 1 of this form, the NHESP will require a separate MESA filing which may take up to 90 days to review (unless noted exceptions in Section 2 apply, see below).*

- c. Submit Supplemental Information for Endangered Species Review*

1. Percentage/acreage of property to be altered:

(a) within wetland Resource Area _____
percentage/acreage

(b) outside Resource Area _____
percentage/acreage

2. Assessor's Map or right-of-way plan of site

2. Project plans for entire project site, including wetland resource areas and areas outside of wetlands jurisdiction, showing existing and proposed conditions, existing and proposed tree/vegetation clearing line, and clearly demarcated limits of work **

(a) Project description (including description of impacts outside of wetland resource area & buffer zone)

(b) Photographs representative of the site

* Some projects **not** in Estimated Habitat may be located in Priority Habitat, and require NHESP review (see <http://www.mass.gov/eea/agencies/dfg/dfw/natural-heritage/regulatory-review/>). Priority Habitat includes habitat for state-listed plants and strictly upland species not protected by the Wetlands Protection Act.

** MESA projects may not be segmented (321 CMR 10.16). The applicant must disclose full development plans even if such plans are not required as part of the Notice of Intent process.



Massachusetts Department of Environmental Protection
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C. Other Applicable Standards and Requirements (cont'd)

(c) MESA filing fee (fee information available at http://www.mass.gov/dfwele/dfw/nhesp/regulatory_review/ mesa/ mesa_fee_schedule.htm).
 Make check payable to "Commonwealth of Massachusetts - NHESP" and **mail to NHESP** at above address

Projects altering 10 or more acres of land, also submit:

(d) Vegetation cover type map of site

(e) Project plans showing Priority & Estimated Habitat boundaries

(f) OR Check One of the Following

1. Project is exempt from MESA review.
 Attach applicant letter indicating which MESA exemption applies. (See 321 CMR 10.14, http://www.mass.gov/dfwele/dfw/nhesp/regulatory_review/ mesa/ mesa_exemptions.htm; the NOI must still be sent to NHESP if the project is within estimated habitat pursuant to 310 CMR 10.37 and 10.59.)

2. Separate MESA review ongoing. a. NHESP Tracking # _____ b. Date submitted to NHESP _____

3. Separate MESA review completed.
 Include copy of NHESP "no Take" determination or valid Conservation & Management Permit with approved plan.

3. For coastal projects only, is any portion of the proposed project located below the mean high water line or in a fish run?

a. Not applicable – project is in inland resource area only b. Yes No

If yes, include proof of mailing, hand delivery, or electronic delivery of NOI to either:

South Shore - Cohasset to Rhode Island border, and the Cape & Islands:

North Shore - Hull to New Hampshire border:

Division of Marine Fisheries -
 Southeast Marine Fisheries Station
 Attn: Environmental Reviewer
 836 South Rodney French Blvd.
 New Bedford, MA 02744
 Email: DMF.EnvReview-South@state.ma.us

Division of Marine Fisheries -
 North Shore Office
 Attn: Environmental Reviewer
 30 Emerson Avenue
 Gloucester, MA 01930
 Email: DMF.EnvReview-North@state.ma.us

Also if yes, the project may require a Chapter 91 license. For coastal towns in the Northeast Region, please contact MassDEP's Boston Office. For coastal towns in the Southeast Region, please contact MassDEP's Southeast Regional Office.



Massachusetts Department of Environmental Protection
Bureau of Resource Protection - Wetlands

WPA Form 3 – Notice of Intent

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Provided by MassDEP:

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City/Town

Online Users:
Include your document transaction number (provided on your receipt page) with all supplementary information you submit to the Department.

C. Other Applicable Standards and Requirements (cont'd)

- 4. Is any portion of the proposed project within an Area of Critical Environmental Concern (ACEC)?
 a. Yes No If yes, provide name of ACEC (see instructions to WPA Form 3 or MassDEP Website for ACEC locations). **Note:** electronic filers click on Website.
 b. ACEC

- 5. Is any portion of the proposed project within an area designated as an Outstanding Resource Water (ORW) as designated in the Massachusetts Surface Water Quality Standards, 314 CMR 4.00?
 a. Yes No
- 6. Is any portion of the site subject to a Wetlands Restriction Order under the Inland Wetlands Restriction Act (M.G.L. c. 131, § 40A) or the Coastal Wetlands Restriction Act (M.G.L. c. 130, § 105)?
 a. Yes No
- 7. Is this project subject to provisions of the MassDEP Stormwater Management Standards?
 a. Yes. Attach a copy of the Stormwater Report as required by the Stormwater Management Standards per 310 CMR 10.05(6)(k)-(q) and check if:
 - 1. Applying for Low Impact Development (LID) site design credits (as described in Stormwater Management Handbook Vol. 2, Chapter 3)
 - 2. A portion of the site constitutes redevelopment
 - 3. Proprietary BMPs are included in the Stormwater Management System.
 b. No. Check why the project is exempt:
 - 1. Single-family house
 - 2. Emergency road repair
 - 3. Small Residential Subdivision (less than or equal to 4 single-family houses or less than or equal to 4 units in multi-family housing project) with no discharge to Critical Areas.

D. Additional Information

- This is a proposal for an Ecological Restoration Limited Project. Skip Section D and complete Appendix A: Ecological Restoration Notice of Intent – Minimum Required Documents (310 CMR 10.12).

Applicants must include the following with this Notice of Intent (NOI). See instructions for details.

Online Users: Attach the document transaction number (provided on your receipt page) for any of the following information you submit to the Department.

- 1. USGS or other map of the area (along with a narrative description, if necessary) containing sufficient information for the Conservation Commission and the Department to locate the site. (Electronic filers may omit this item.)
- 2. Plans identifying the location of proposed activities (including activities proposed to serve as a Bordering Vegetated Wetland [BVW] replication area or other mitigating measure) relative to the boundaries of each affected resource area.



Massachusetts Department of Environmental Protection
 Bureau of Resource Protection - Wetlands
WPA Form 3 – Notice of Intent
 Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Provided by MassDEP:

MassDEP File Number

Document Transaction Number

Newton

City/Town

D. Additional Information (cont'd)

3. Identify the method for BVW and other resource area boundary delineations (MassDEP BVW Field Data Form(s), Determination of Applicability, Order of Resource Area Delineation, etc.), and attach documentation of the methodology.

4. List the titles and dates for all plans and other materials submitted with this NOI.

Proposed Site Plan - 53 Wendell

a. Plan Title

CCLA

b. Prepared By

William Doyle, PE and Cristina Campa, RLA

c. Signed and Stamped by

October 28, 2019

d. Final Revision Date

e. Scale

f. Additional Plan or Document Title

g. Date

- 5. If there is more than one property owner, please attach a list of these property owners not listed on this form.
- 6. Attach proof of mailing for Natural Heritage and Endangered Species Program, if needed.
- 7. Attach proof of mailing for Massachusetts Division of Marine Fisheries, if needed.
- 8. Attach NOI Wetland Fee Transmittal Form
- 9. Attach Stormwater Report, if needed.

E. Fees

1. Fee Exempt: No filing fee shall be assessed for projects of any city, town, county, or district of the Commonwealth, federally recognized Indian tribe housing authority, municipal housing authority, or the Massachusetts Bay Transportation Authority.

Applicants must submit the following information (in addition to pages 1 and 2 of the NOI Wetland Fee Transmittal Form) to confirm fee payment:

2453

2. Municipal Check Number

2019-10-28

3. Check date

2451

4. State Check Number

2019-10-28

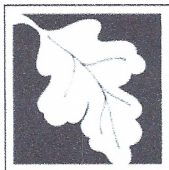
5. Check date

Ron

6. Payor name on check: First Name

Zalkind

7. Payor name on check: Last Name



WPA Form 3 – Notice of Intent

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Provided by MassDEP:

MassDEP File Number

Document Transaction Number

City/Town

F. Signatures and Submittal Requirements

I hereby certify under the penalties of perjury that the foregoing Notice of Intent and accompanying plans, documents, and supporting data are true and complete to the best of my knowledge. I understand that the Conservation Commission will place notification of this Notice in a local newspaper at the expense of the applicant in accordance with the wetlands regulations, 310 CMR 10.05(5)(a).

I further certify under penalties of perjury that all abutters were notified of this application, pursuant to the requirements of M.G.L. c. 131, § 40. Notice must be made by Certificate of Mailing or in writing by hand delivery or certified mail (return receipt requested) to all abutters within 100 feet of the property line of the project location.

1. Signature of Applicant

2. Date

3. Signature of Property Owner (if different)

4. Date

5. Signature of Representative (if any)

6. Date

10-25-19

10/28/2019

For Conservation Commission:

Two copies of the completed Notice of Intent (Form 3), including supporting plans and documents, two copies of the NOI Wetland Fee Transmittal Form, and the city/town fee payment, to the Conservation Commission by certified mail or hand delivery.

For MassDEP:

One copy of the completed Notice of Intent (Form 3), including supporting plans and documents, one copy of the NOI Wetland Fee Transmittal Form, and a **copy** of the state fee payment to the MassDEP Regional Office (see Instructions) by certified mail or hand delivery.

Other:

If the applicant has checked the "yes" box in any part of Section C, Item 3, above, refer to that section and the Instructions for additional submittal requirements.

The original and copies must be sent simultaneously. Failure by the applicant to send copies in a timely manner may result in dismissal of the Notice of Intent.

Fee Transmittal



Massachusetts Department of Environmental Protection
Bureau of Resource Protection - Wetlands
NOI Wetland Fee Transmittal Form
Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Important: When filling out forms on the computer, use only the tab key to move your cursor - do not use the return key.



A. Applicant Information

1. Location of Project:

53 Wendell Road

a. Street Address

2451

c. Check number

Newton

b. City/Town

\$42.50

d. Fee amount

2. Applicant Mailing Address:

Ron and Karin

a. First Name

Home owner

c. Organization

53 Wendell Road

d. Mailing Address

Newton

e. City/Town

617-599-8585

h. Phone Number

i. Fax Number

MA

f. State

02459

g. Zip Code

ronzlk@gmail.com

j. Email Address

3. Property Owner (if different):

Same

a. First Name

b. Last Name

c. Organization

d. Mailing Address

e. City/Town

f. State

g. Zip Code

h. Phone Number

i. Fax Number

j. Email Address

To calculate filing fees, refer to the category fee list and examples in the instructions for filling out WPA Form 3 (Notice of Intent).

B. Fees

Fee should be calculated using the following process & worksheet. **Please see Instructions before filling out worksheet.**

Step 1/Type of Activity: Describe each type of activity that will occur in wetland resource area and buffer zone.

Step 2/Number of Activities: Identify the number of each type of activity.

Step 3/Individual Activity Fee: Identify each activity fee from the six project categories listed in the instructions.

Step 4/Subtotal Activity Fee: Multiply the number of activities (identified in Step 2) times the fee per category (identified in Step 3) to reach a subtotal fee amount. Note: If any of these activities are in a Riverfront Area in addition to another Resource Area or the Buffer Zone, the fee per activity should be multiplied by 1.5 and then added to the subtotal amount.

Step 5/Total Project Fee: Determine the total project fee by adding the subtotal amounts from Step 4.

Step 6/Fee Payments: To calculate the state share of the fee, divide the total fee in half and subtract \$12.50. To calculate the city/town share of the fee, divide the total fee in half and add \$12.50.



Massachusetts Department of Environmental Protection
 Bureau of Resource Protection - Wetlands
NOI Wetland Fee Transmittal Form
 Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

B. Fees (continued)

Step 1/Type of Activity	Step 2/Number of Activities	Step 3/Individual Activity Fee	Step 4/Subtotal Activity Fee
Category #1	1	\$110.00	\$110.00
_____	_____	_____	_____
_____	_____	_____	_____
_____	_____	_____	_____
_____	_____	_____	_____
_____	_____	_____	_____
_____	_____	_____	_____
_____	_____	_____	_____

Step 5/Total Project Fee: _____

Step 6/Fee Payments:

Total Project Fee:	\$110.00
State share of filing Fee:	\$42.50
City/Town share of filing Fee:	\$67.50
	a. Total Fee from Step 5
	b. 1/2 Total Fee less \$12.50
	c. 1/2 Total Fee plus \$12.50

C. Submittal Requirements

- a.) Complete pages 1 and 2 and send with a check or money order for the state share of the fee, payable to the Commonwealth of Massachusetts.

Department of Environmental Protection
 Box 4062
 Boston, MA 02211

- b.) **To the Conservation Commission:** Send the Notice of Intent or Abbreviated Notice of Intent; a **copy** of this form; and the city/town fee payment.

To MassDEP Regional Office (see Instructions): Send a copy of the Notice of Intent or Abbreviated Notice of Intent; a **copy** of this form; and a **copy** of the state fee payment. (E-filers of Notices of Intent may submit these electronically.)

Drainage Calculations

53 Wendell Road
Newton, Massachusetts

October 29, 2019

**POST CONSTRUCTION STORMWATER
MANAGEMENT REPORT**

Prepared For:

Ron and Karin Zelkind
53 Wendell Road

Prepared By:



14 Spring Street
1st Floor
Waltham, MA 02451

DEI #190027

1.0 PROJECT OVERVIEW

The Applicant plans to install a new pool at the rear yard of the newly constructed house at 53 Wendell Road. Currently the property slopes from the rear of the house north to the rear lot line and adjacent property. The rear yard steps down from south to north, the high portion of the yard is above the flood zone, while the rear half of the yard steps down to a lower area that is within a 100-year flood zone. A pool is proposed within the lower rear yard in the area of the flood zone. The intent of the drainage design is to mimic the flow patterns that exist today by installing a drainage system to collect the stormwater runoff from the upper yard area and direct it to an infiltration system. The effect of collecting and mitigation the upper rear yard and installing the pool in the lower rear yard will result in a net decrease in stormwater runoff at the rear property line.

DESIGN CRITERIA

The Natural Resources Conservation Services (“NRCS”), formerly the Soil Conservation Service (“SCS”), Technical Releases number 20 and 55 (TR-20 and TR-55), were used in the HydroCAD® computer software program to model the hydrology of the watershed. This program was used to calculate existing and proposed conditions. Design criteria included the following:

- The stormwater management system is designed for the 8.78-inch storm event using HydroCAD®, a TR-20 and TR-55 based hydrologic software program.
- Post-development peak discharge rates will not exceed pre-development peak discharge rates for the 7-inch event.
- Minimum Tc is five minutes.
- The proposed drainage system provides infiltration opportunity through the proposed stormwater system.
- The following rainfall amounts were used:

Table 1: Type III – 24 Hour Rainfall

Storm Event	
8.78-inch	8.78-inch

Source: City of Newton Requirements

3.0 STORMWATER MANAGEMENT

The proposed stormwater management design compares the existing and proposed areas and mitigates the change in impervious area. The design point for the project is the rear property line. The rear yard is split between the upper and lower areas that both drain to the design point. The management system is designed to capture the upper yard before it flows from the upper to the lower and then to the design point. By capturing the upper yard and retaining the flow, the net decrease in runoff for the entire yard is reduced below the existing conditions. Table 2 below tabulates the pervious versus impervious areas for the pre and post developed conditions. Table 2 shows that there is an increase in impervious area at the rear yard causing an increase in stormwater runoff.

Table 2: Surface Comparison

	Pervious (sf)	Impervious (sf)	Total (sf)
Existing Conditions	10,256	0	10,256
Proposed Conditions	9,070	1,186	10,256

The total area indicated above represents the entire catchment area that drains to the design point as described above. The proposed site design implements stormwater mitigation measures designed to address the increase in impervious area created by the pool construction. Stormwater runoff collected from the front of the property is conveyed to a linear trench drain along the northern edge of the upper yard area. The linear trench will also include area drains to collect stormwater. The trench drain is designed with a complimentary linear retention pipe set in a gravel envelope.

The peak rate of runoff and the volume of runoff to these points has been analyzed for the pre and post conditions. The results of these analyses is tabulated below. The result of the proposed design is a net decrease in stormwater leaving the site at the rear yard.

Table 3: Peak Runoff Rates

Storm Event	Front	
	Existing (cfs)	Proposed (cfs)
8.78-inch	2.27	2.20

4.0 CONCLUSIONS

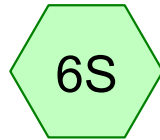
Mitigation measures have been designed and specifically tailored to the property and the project to treat the increase in stormwater runoff generated from the increase in impervious area proposed at the property. The design incorporates a closed drainage system with an underground infiltration area for the rear yard area.

The proposed stormwater management techniques and systems implemented in this design meet or exceed the City of Newton requirements for stormwater mitigation.

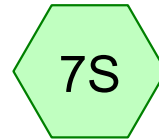
Pre and Post Development Calculations



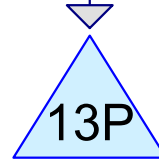
Existing



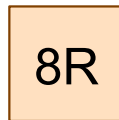
Proposed Lower



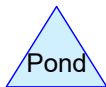
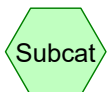
Proposed Upper



(new Pond)



Design Point



Routing Diagram for 43 Wendell

Prepared by {enter your company name here}, Printed 10/27/2019
HydroCAD® 10.00-20 s/n 07330 © 2017 HydroCAD Software Solutions LLC

43 Wendell

Prepared by {enter your company name here}

HydroCAD® 10.00-20 s/n 07330 © 2017 HydroCAD Software Solutions LLC

Printed 10/27/2019

Page 2

Area Listing (all nodes)

Area (acres)	CN	Description (subcatchment-numbers)
0.444	74	>75% Grass cover, Good, HSG C (1S, 6S, 7S)
0.027	98	Paved parking, HSG A (6S)
0.471	75	TOTAL AREA

43 Wendell

Prepared by {enter your company name here}

Printed 10/27/2019

HydroCAD® 10.00-20 s/n 07330 © 2017 HydroCAD Software Solutions LLC

Page 3

Ground Covers (all nodes)

HSG-A (acres)	HSG-B (acres)	HSG-C (acres)	HSG-D (acres)	Other (acres)	Total (acres)	Ground Cover	Subcatchment Numbers
0.000	0.000	0.444	0.000	0.000	0.444	>75% Grass cover, Good	1S, 6S, 7S
0.027	0.000	0.000	0.000	0.000	0.027	Paved parking	6S
0.027	0.000	0.444	0.000	0.000	0.471	TOTAL AREA	

43 Wendell*Type II 24-hr 100-Year Rainfall=8.78"*

Prepared by {enter your company name here}

Printed 10/27/2019

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Page 4

Time span=3.00-26.00 hrs, dt=0.06 hrs, 384 points
 Runoff by SCS TR-20 method, UH=SCS, Weighted-CN
 Reach routing by Stor-Ind+Trans method - Pond routing by Stor-Ind method

Subcatchment 1S: Existing

Runoff Area=10,256 sf 0.00% Impervious Runoff Depth=5.63"
 Tc=5.0 min CN=74 Runoff=2.27 cfs 0.110 af

Subcatchment 6S: Proposed Lower

Runoff Area=5,565 sf 21.31% Impervious Runoff Depth=6.24"
 Tc=5.0 min CN=79 Runoff=1.34 cfs 0.066 af

Subcatchment 7S: Proposed Upper

Runoff Area=4,692 sf 0.00% Impervious Runoff Depth=5.63"
 Tc=5.0 min CN=74 Runoff=1.04 cfs 0.051 af

Reach 8R: Design Point

Inflow=2.20 cfs 0.098 af
 Outflow=2.20 cfs 0.098 af

Pond 13P: (new Pond)

Peak Elev=121.35' Storage=0.006 af Inflow=1.04 cfs 0.051 af
 Discarded=0.02 cfs 0.019 af Primary=0.91 cfs 0.031 af Outflow=0.93 cfs 0.051 af

Total Runoff Area = 0.471 ac Runoff Volume = 0.227 af Average Runoff Depth = 5.79"
94.22% Pervious = 0.444 ac 5.78% Impervious = 0.027 ac

Summary for Subcatchment 1S: Existing

Runoff = 2.27 cfs @ 11.95 hrs, Volume= 0.110 af, Depth= 5.63"

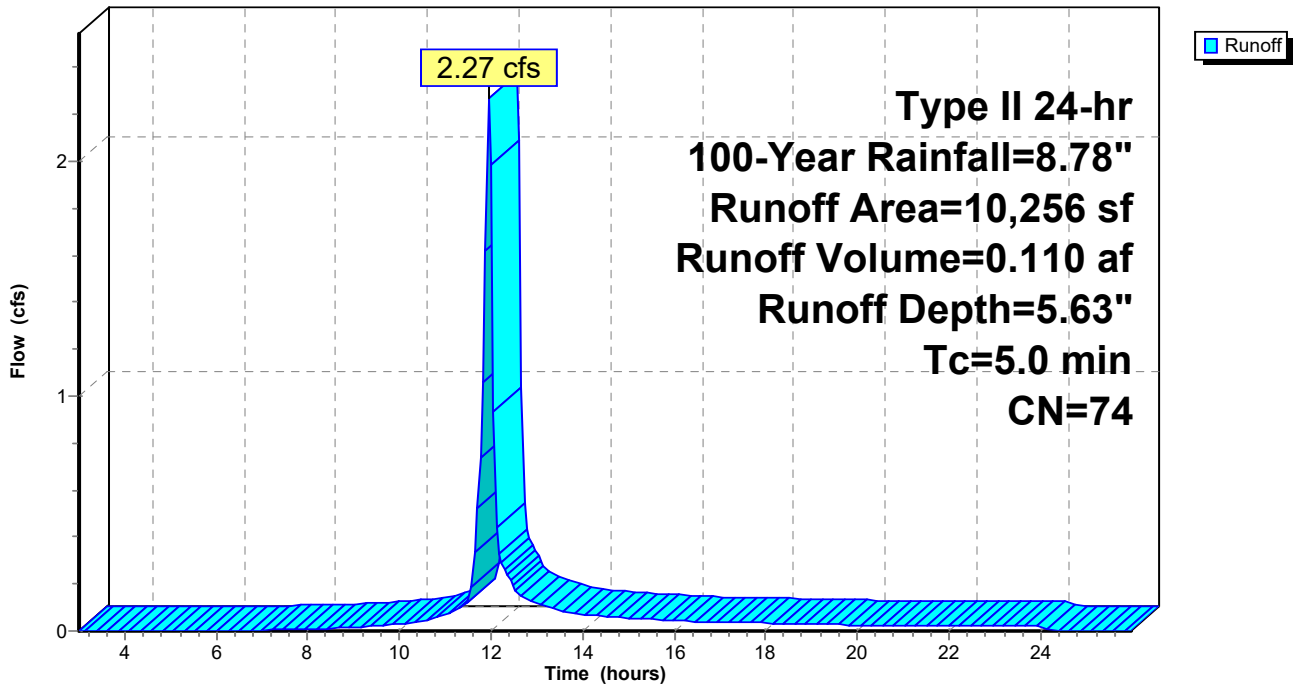
Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 3.00-25.98 hrs, dt= 0.06 hrs
 Type II 24-hr 100-Year Rainfall=8.78"

Area (sf)	CN	Description
10,256	74	>75% Grass cover, Good, HSG C
10,256		100.00% Pervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
5.0					Direct Entry,

Subcatchment 1S: Existing

Hydrograph



Summary for Subcatchment 6S: Proposed Lower

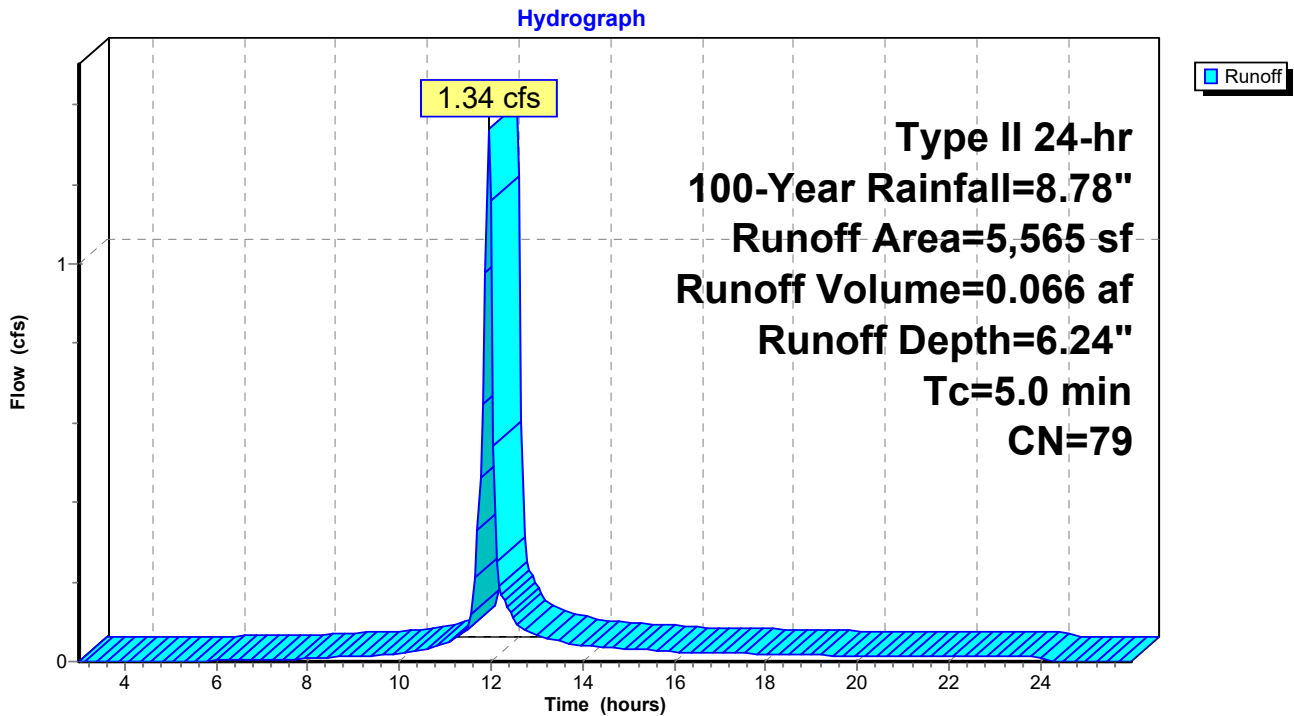
Runoff = 1.34 cfs @ 11.95 hrs, Volume= 0.066 af, Depth= 6.24"

Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 3.00-25.98 hrs, dt= 0.06 hrs
 Type II 24-hr 100-Year Rainfall=8.78"

Area (sf)	CN	Description
4,379	74	>75% Grass cover, Good, HSG C
1,186	98	Paved parking, HSG A
5,565	79	Weighted Average
4,379		78.69% Pervious Area
1,186		21.31% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
5.0					Direct Entry,

Subcatchment 6S: Proposed Lower



Summary for Subcatchment 7S: Proposed Upper

Runoff = 1.04 cfs @ 11.95 hrs, Volume= 0.051 af, Depth= 5.63"

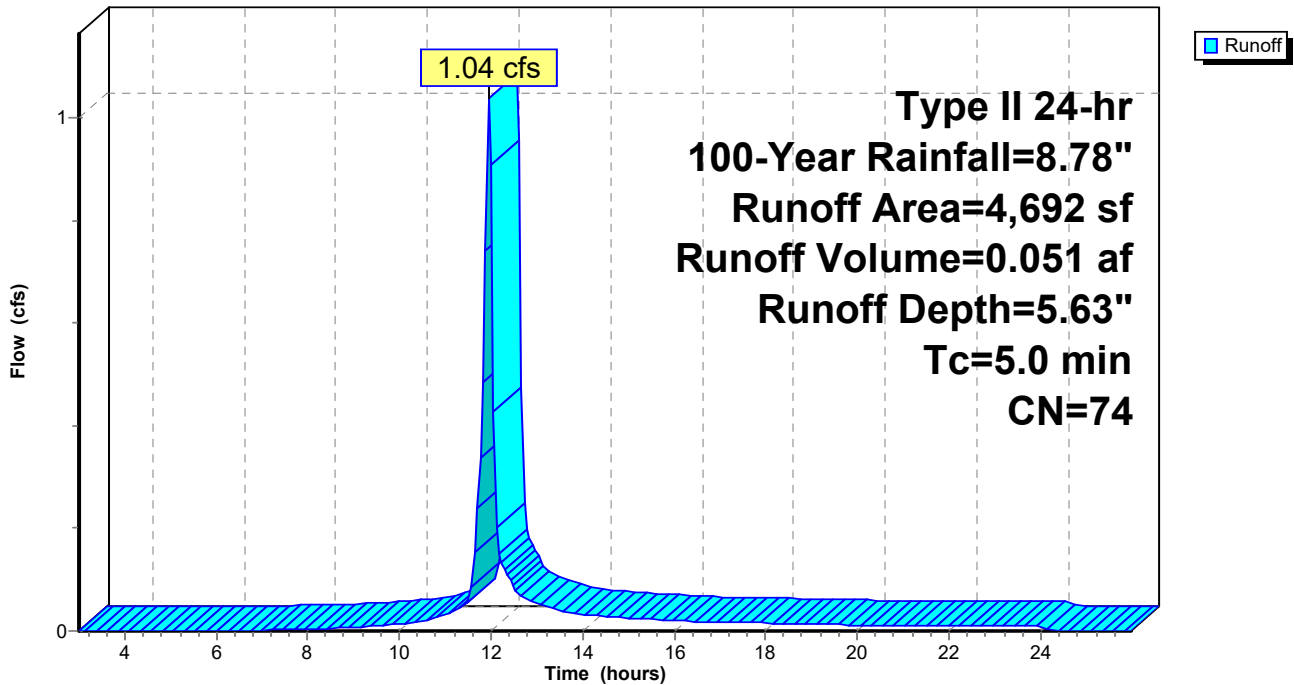
Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 3.00-25.98 hrs, dt= 0.06 hrs
Type II 24-hr 100-Year Rainfall=8.78"

Area (sf)	CN	Description
4,692	74	>75% Grass cover, Good, HSG C
4,692		100.00% Pervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
5.0					Direct Entry,

Subcatchment 7S: Proposed Upper

Hydrograph

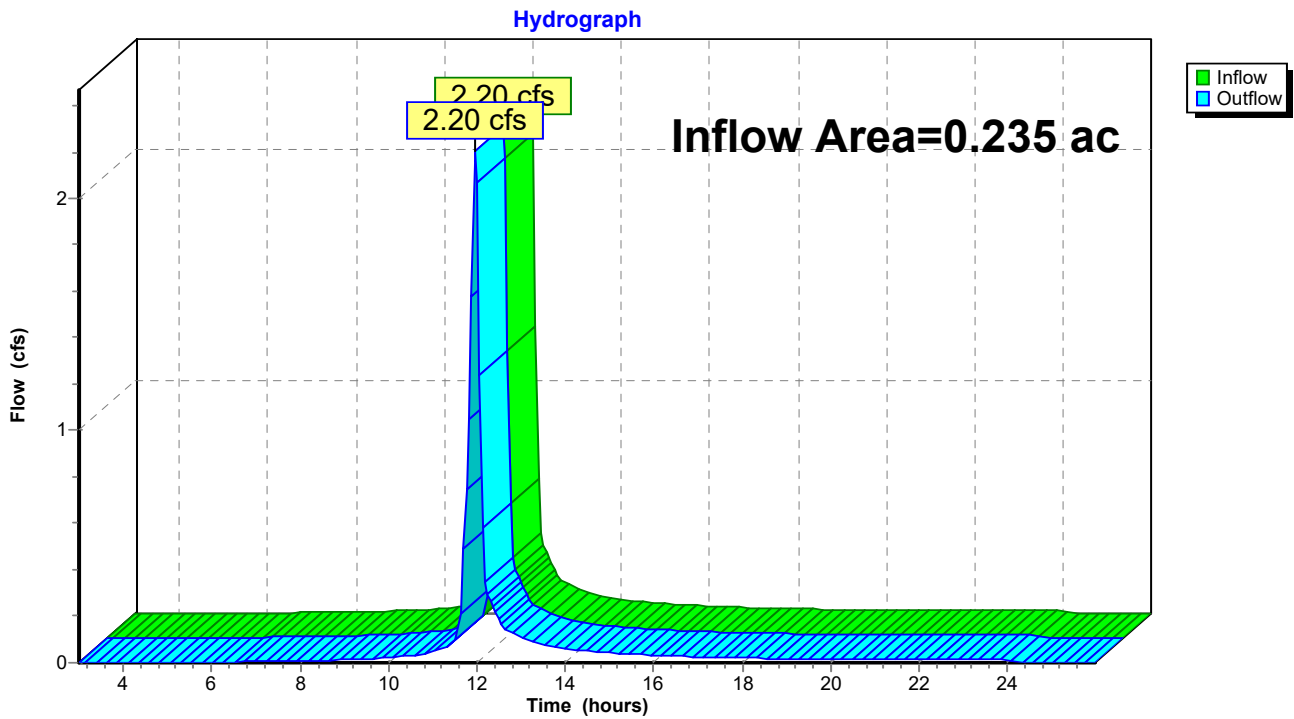


Summary for Reach 8R: Design Point

Inflow Area = 0.235 ac, 11.56% Impervious, Inflow Depth = 4.97" for 100-Year event
Inflow = 2.20 cfs @ 11.96 hrs, Volume= 0.098 af
Outflow = 2.20 cfs @ 11.96 hrs, Volume= 0.098 af, Atten= 0%, Lag= 0.0 min

Routing by Stor-Ind+Trans method, Time Span= 3.00-25.98 hrs, dt= 0.06 hrs

Reach 8R: Design Point



Summary for Pond 13P: (new Pond)

Inflow Area = 0.108 ac, 0.00% Impervious, Inflow Depth = 5.63" for 100-Year event
 Inflow = 1.04 cfs @ 11.95 hrs, Volume= 0.051 af
 Outflow = 0.93 cfs @ 11.99 hrs, Volume= 0.051 af, Atten= 10%, Lag= 2.1 min
 Discarded = 0.02 cfs @ 11.99 hrs, Volume= 0.019 af
 Primary = 0.91 cfs @ 11.99 hrs, Volume= 0.031 af

Routing by Stor-Ind method, Time Span= 3.00-25.98 hrs, dt= 0.06 hrs / 2
 Peak Elev= 121.35' @ 11.99 hrs Surf.Area= 0.004 ac Storage= 0.006 af

Plug-Flow detention time= 46.1 min calculated for 0.050 af (100% of inflow)
 Center-of-Mass det. time= 46.7 min (855.2 - 808.5)

Volume	Invert	Avail.Storage	Storage Description
#1A	118.50'	0.005 af	2.33'W x 82.00'L x 3.00'H Field A 0.013 af Overall - 0.001 af Embedded = 0.012 af x 40.0% Voids
#2A	119.50'	0.001 af	CPP single-wall 10" x 4 Inside #1 Inside= 10.0"W x 10.0"H => 0.70 sf x 20.00'L = 14.0 cf Outside= 12.0"W x 12.0"H => 0.70 sf x 20.00'L = 14.0 cf
		0.006 af	Total Available Storage

Storage Group A created with Chamber Wizard

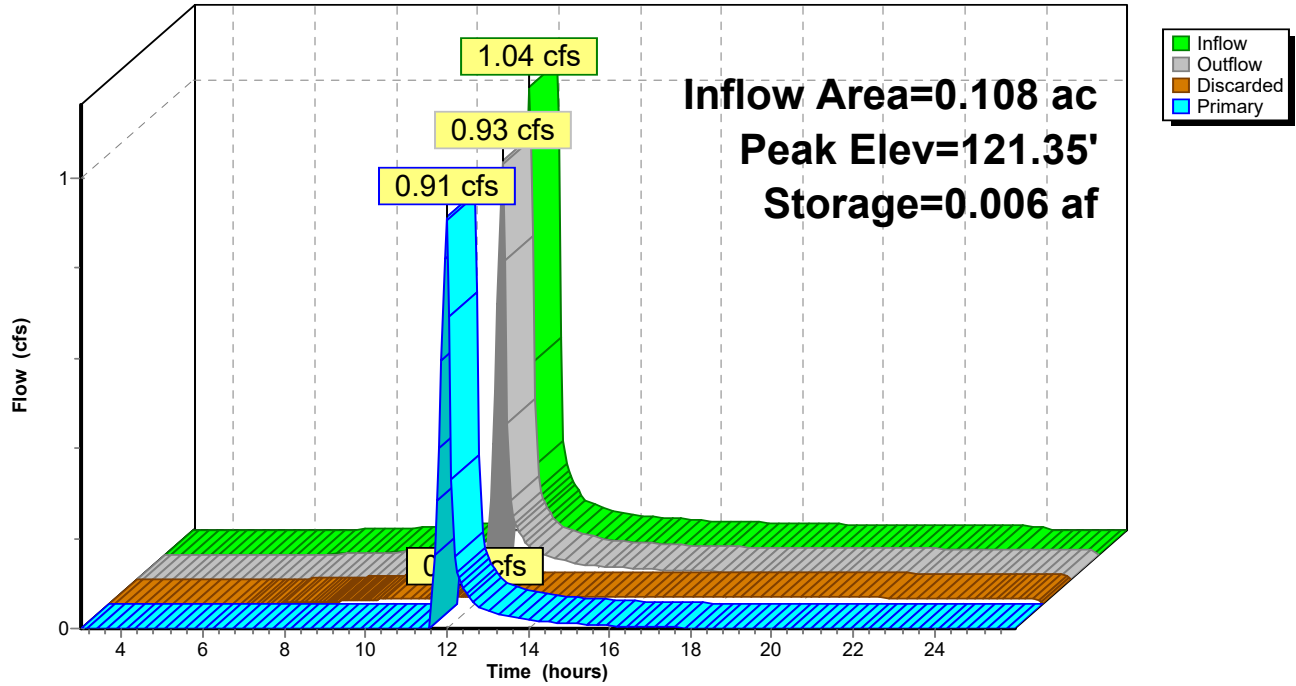
Device	Routing	Invert	Outlet Devices
#1	Discarded	118.50'	2.410 in/hr Exfiltration over Surface area Conductivity to Groundwater Elevation = 114.00'
#2	Primary	122.00'	8.0" Horiz. Orifice/Grate X 2.00 C= 0.600 Limited to weir flow at low heads
#3	Primary	120.00'	4.0" Vert. Orifice/Grate X 2.00 C= 0.600

Discarded OutFlow Max=0.02 cfs @ 11.99 hrs HW=121.29' (Free Discharge)
 ↳ **1=Exfiltration** (Controls 0.02 cfs)

Primary OutFlow Max=0.89 cfs @ 11.99 hrs HW=121.29' (Free Discharge)
 ↳ **2=Orifice/Grate** (Controls 0.00 cfs)
 ↳ **3=Orifice/Grate** (Orifice Controls 0.89 cfs @ 5.10 fps)

Pond 13P: (new Pond)

Hydrograph



Operation and Maintenance

Stormwater Management System Operation and Maintenance Plan

This Operation and Maintenance Plan has been prepared in accordance with the Massachusetts Department of Environmental Protection Stormwater Management Standards.

Site

Ron and Karin Zalkind Residence
53 Wendell Road
Newton, Massachusetts

Site Operator

Company:
Ron and Karin Zalkind
53 Wendell Road
Newton, Massachusetts

Adopted by Property Owner

Ron and Karin Zalkind
Owner's Printed Name

Signature

Date

Operation and Maintenance Plan

Operator's Responsibilities

This Operation and Maintenance Plan includes details on stormwater management system maintenance, landscape maintenance, and illicit discharges. Aspects of the site that are associated with the stormwater management system are indicated on the Site Plan, on file with the City of Newton Conservation Commission.

The Homeowner / Site Manager shall:

- ensure that the specified procedures included in this plan are followed, that the various system components are maintained in perpetuity,
- engage as employees or as contractors, qualified personnel to conduct required inspections, periodic maintenance, and system repairs, and
- maintain proper records as specified herein.

System Components

Infiltration Trench

Runoff generated by the upper rear lawn area is directed to and captured by a linear gravel trench drain that runs along the grade break between the upper rear yard and the lower rear yard. This infiltration trench is a passive treatment and infiltration system that includes area drains incorporated within the trench, an underground 10-inch perforated pipe embedded within a gravel envelope and overflow outlets.

Inspection Schedule

Immediately following completion of the project construction contract period and during at least the next twelve (12) months thereafter, inspection of all system components shall be completed at least monthly and following every rainfall event of at least 1". A minimum of 2 monthly inspections shall be conducted during the first two growing seasons. As warranted during these inspections, maintenance in accordance with the component-specific sections listed below shall be completed and proper records kept.

Following completion of the initial monthly inspections, general system inspections shall be conducted yearly. Inspections shall also be completed following any rainfall event of at least 3".

System Inspection and Maintenance

Infiltration Trench

Periodic inspections of infiltration trench shall include opening the area drains and making observations of the stone surface and standing water within the 10-inch pipe. If standing water is observed in the infiltration field the water depth shall be recorded and the inspector shall return every 24 hours to record the water level. Standing water observed in the structure above the stone level longer than 72 hours following a rainfall event may indicate failure. A follow-up inspection by a qualified site engineer should be scheduled.

General Landscape Maintenance

All landscape debris including but not limited to pruning waste, collected leaves, raked mulch, or other debris should be removed from the project site. Grass clippings may be finely mulched in place, or otherwise must also be removed from the site.

Illicit Discharges

The stormwater management system is for collecting, treating, and distributing stormwater flows only. Any discharge of materials other than stormwater to this system is considered an "Illicit Discharge" and is a violation of the local and state environmental regulations that govern its design, construction and use and are prohibited under this Operation and Maintenance Plan. Illicit discharges may include but are not limited to wastewater; stormwater contaminated by contact with process wastes, raw materials, toxic pollutants, hazardous substances, oil, or grease.

Homeowner / Site Manager

The Homeowner or designated Site Manager shall be responsible for oversight and/or completion of all inspection and maintenance activities specified herein.

The Site Manager will also be responsible for maintaining an accurate Site Maintenance Log. The Site Maintenance Log shall be available for inspection by municipal or state departments or their agent(s) upon request.

The Site Maintenance Log will:

1. Document the completion or and results of periodic or special inspections,
2. Identify the personnel responsible for the completion of required maintenance tasks,
3. Document the completion of planned maintenance tasks.
4. Identify any outstanding problems, malfunctions or inconsistencies identified during the course of routine maintenance.

The Site Manager will also be responsible for ensuring that all maintenance employees are familiar with the system components and their proper function, and are trained to identify improper function and/or failure.

Annual Report

An annual report shall be prepared by a professional engineer or other equally qualified stormwater inspector and will include the following:

- A summary of all cleaning, repair, and general maintenance activities that were completed as reported in the periodic inspection logs maintained by the facility,
- A verification that all scheduled inspections for the year were completed and properly documented and that all maintenance prescribed in the periodic inspection logs were completed,
- A general assessment of the condition and performance of the stormwater management system for the facility.

Qualifications for the stormwater inspector shall be submitted to the City of Waltham Conservation Commission for approval. The Annual Report shall be made available to the City of Waltham Engineering department, or to municipal offices upon request.

General

Inspect for / comment on trash and/or debris accumulation, erosive conditions, fertilization requirements, snow storage, general site condition.

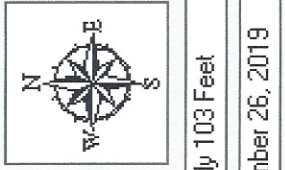
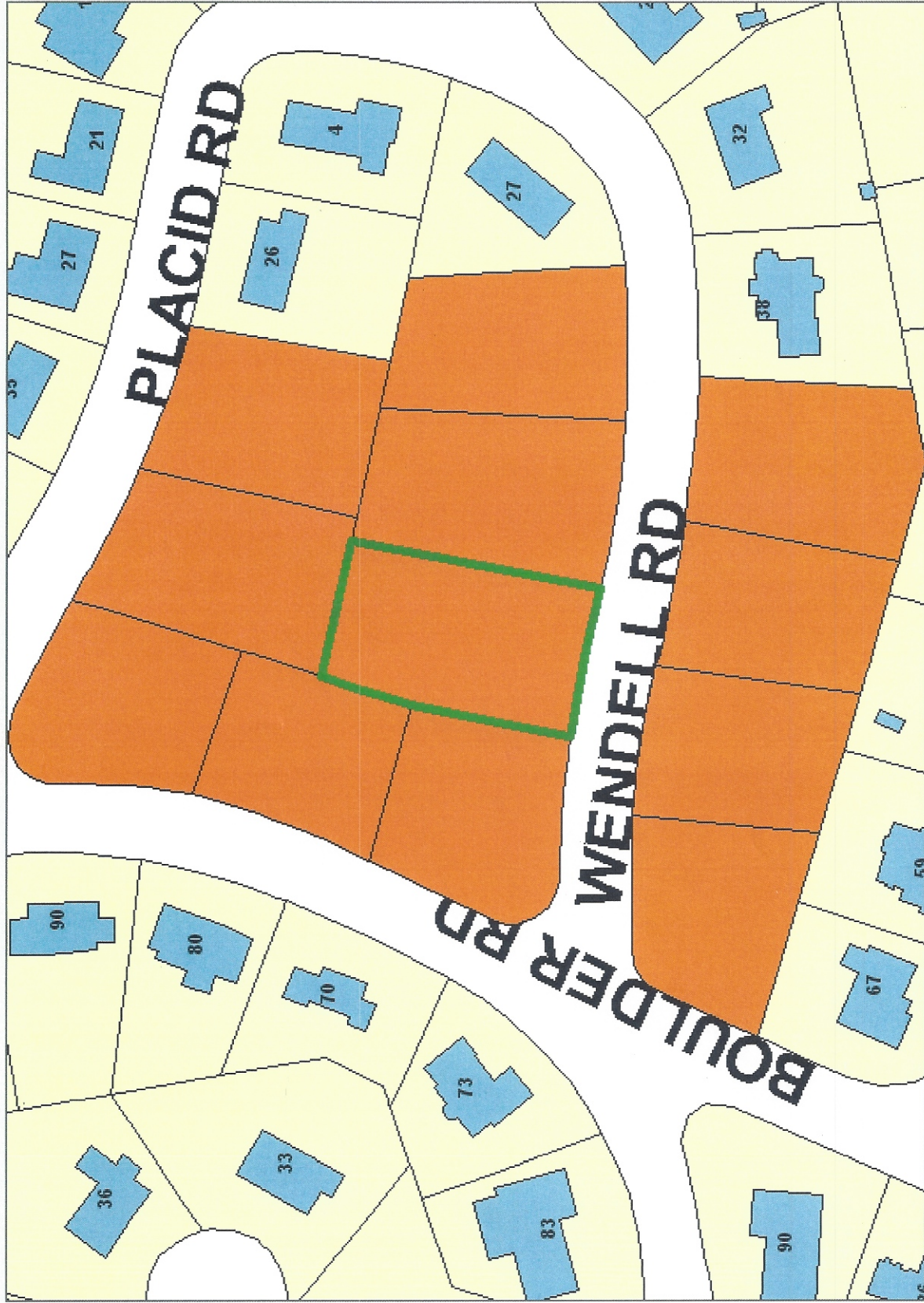
Maintenance/Repair	Responsible Party	Completion Date	Site Manager Initials

Other

Note any other items of concern or miscellaneous aspects of the site that require attention, further observation, or attention by others.

Abutters

NEWTON GIS DATA



Property Location: **53 WENDELL RD**

Property ID: **81015 0002**

Land Use: Lot Size: **101** 15225 Sq. Ft.

1 inch = Approximately 103 Feet

MAP DATE: September 26, 2019

- Buildings
- Property Lines
- Lakes & Rivers
- Easements

The information on this map is from the Newton Geographic Information System (GIS). The City of Newton cannot guarantee the accuracy of this information. Each user is responsible for determining the data's suitability for its intended purpose.

City departments will not approve applications based solely on GIS data. City staff correct errors as they are identified.

Final Label Report

SBL	Owner	Number	Street	Unit
81015 0011	KARL WILLIAM & PAULA	75	BOULDER RD	
81015 0010	87 BOULDER LLC	87	BOULDER RD	
81015 0008	GARCIA-TURNER NORMA	32	PLACID RD	
81015 0009	SANDLER LEON	40	PLACID RD	
81015 0004	BEKEFI TAMARA	35	WENDELL RD	
81016 0014	LUDIN LEV & ELEONORA	44	WENDELL RD	
81015 0003	XU YOURONG	45	WENDELL RD	
81016 0015	MARCOTTE NICOLAS L	50	WENDELL RD	
81015 0002	ZALKIND RON	53	WENDELL RD	
81016 0016	KONG BYONG SEON & DONG SUN	58	WENDELL RD	
81015 0001	ZEITLER MARCIA-SUE A	61	WENDELL RD	
81016 0017	PETERSBURG CORPORATION	70	WENDELL RD	

Fee Checks



Newton, MA 02461-1909

2451

53-13/110 MA
26525

10-28-19 Date
Fecha

Pay to the Order of / Páguese a la Orden de COMMONWEALTH OF MASSACHUSETTS | \$ 425⁰⁰/₁₀₀

Forty two ⁵⁰/₁₀₀

Dollars
Dólares



Bank of America

ACH R/T 011000138

For / Para NEWTON

MP

Harland Clarke

WORLD TRAVELLERS



Newton, MA 02461-1909

2452

53-13/110 MA
26525

10-28-19 Date
Fecha

Pay to the Order of / Páguese a la Orden de CITY OF NEWTON | \$ 50-

FIFTY

Dollars
Dólares



Bank of America

ACH R/T 011000138

For / Para NEWTON

MP

Harland Clarke

WORLD TRAVELLERS



Newton, MA 02461-1909

2453

53-13/110 MA
26525

10-28-19 Date
Fecha

Pay to the Order of / Páguese a la Orden de CITY OF NEWTON | \$ 67⁵⁰/₁₀₀

Sixty seven ⁵⁰/₁₀₀

Dollars
Dólares



Bank of America

ACH R/T 011000138

For / Para NEWTON






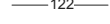


MP

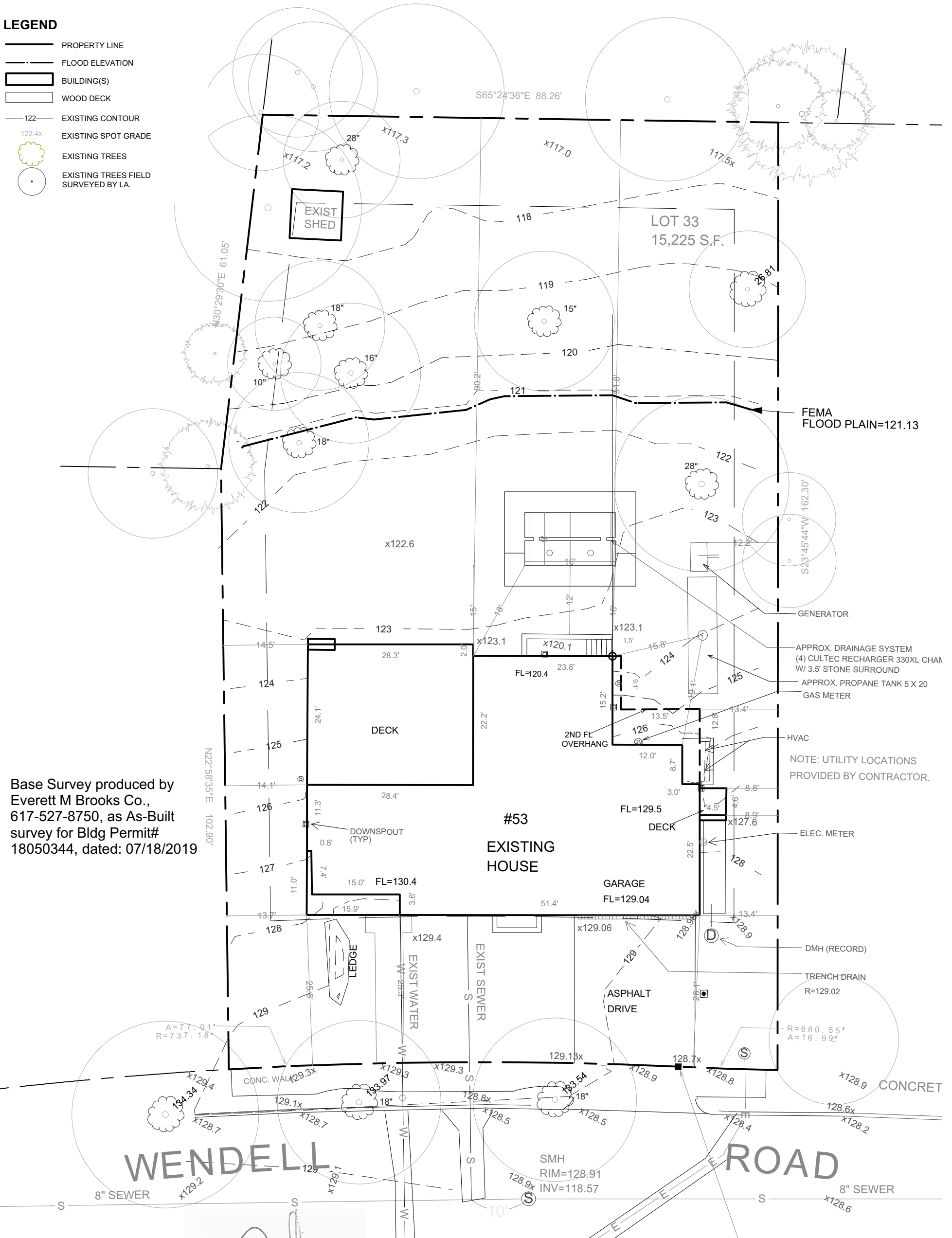
Harland Clarke

WORLD TRAVELLERS

Plans

LEGEND

-  PROPERTY LINE
-  FLOOD ELEVATION
-  BUILDING(S)
-  WOOD DECK
-  EXISTING CONTOUR
-  EXISTING SPOT GRADE
-  EXISTING TREES
-  EXISTING TREES FIELD SURVEYED BY L.A.



Base Survey produced by
 Everett M Brooks Co.,
 617-527-8750, as As-Built
 survey for Bldg Permit#
 18050344, dated: 07/18/2019

FEMA
 FLOOD PLAIN=121.13

GENERATOR
 APPROX. DRAINAGE SYSTEM
 (4) CULTEC RECHARGER 330XL CHAM
 W/ 3.5' STONE SURROUND
 APPROX. PROPANE TANK 5 X 20
 GAS METER
 HVAC
 NOTE: UTILITY LOCATIONS
 PROVIDED BY CONTRACTOR.

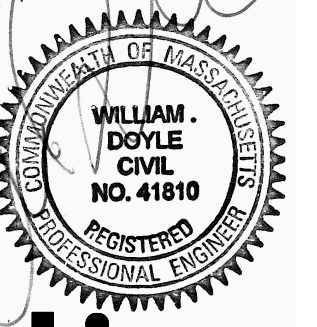
DMH (RECORD)
 TRENCH DRAIN
 R=129.02
 R=680.55'
 A=16.99'

Stamp:



CCLA
 28 Beacon Street
 Marblehead MA 01945
 617 686 9875

Stamp:



dei
 DESIGN • ENGINEERING • INNOVATION
 14 Spring Street
 Waltham MA 02451
 781 850 2731

NORTH

Scale:
 0 8 16'
 1/16" = 1'- 0"
 CITY OF NEWTON BASE

Date:
 29 Oct 2019

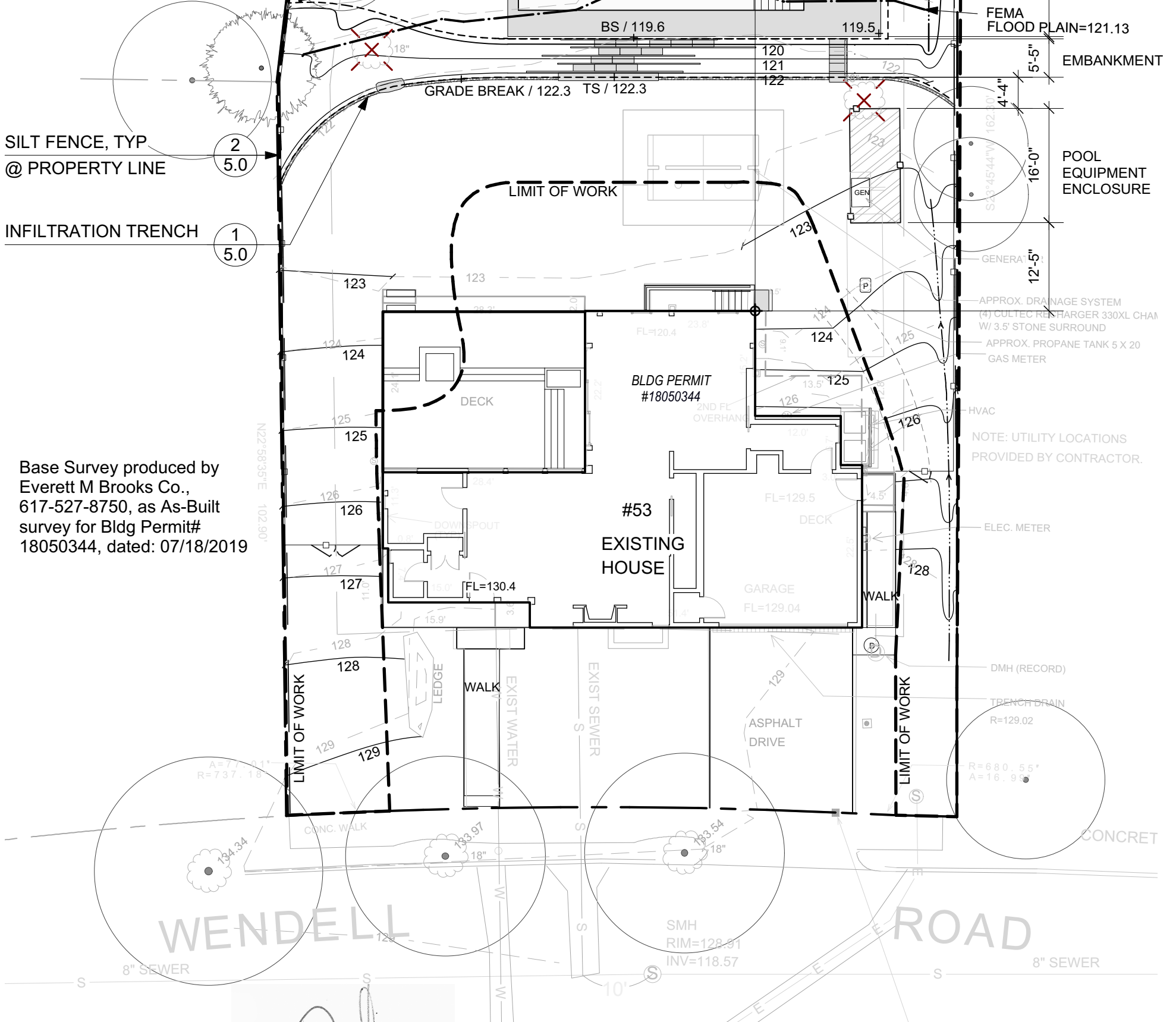
Title: **EXISTING CONDITIONS PLAN | 1.0** Sheet No:

Project Name: **Sharav-Zalkind Residence** Project Location: **53 Wendell Road Newton MA**

Revisions	Number	Date	Description

LEGEND

- LIMIT OF WORK
- PROPERTY LINE
- FLOOD ELEVATION
- BUILDING(S)
- WOOD DECK
- EXISTING CONTOUR
- PROPOSED GRADE BREAK
- PROPOSED CONTOUR
- PROPOSED SPOT GRADE
- TREE PROTECTION FENCING
- SILT FENCING
- PROPOSED INFILTRATION TRENCH
- PROPOSED POOL FENCING
- PROPOSED POOL EQUIPMENT
- PROPOSED PAVING
- PROPOSED STONE RISERS
- EXISTING TREES TO REMAIN
- EXISTING TREES TO BE REMOVED



SILT FENCE, TYP
@ PROPERTY LINE (2) 5.0

INFILTRATION TRENCH (1) 5.0

Base Survey produced by
Everett M Brooks Co.,
617-527-8750, as As-Built
survey for Bldg Permit#
18050344, dated: 07/18/2019

APPROX. DRAINAGE SYSTEM
(4) CULTREC REINFORGER 330XL CHAM
W/ 3.5' STONE SURROUND
APPROX. PROPANE TANK 5 X 20
GAS METER
HVAC
NOTE: UTILITY LOCATIONS
PROVIDED BY CONTRACTOR.

Stamp:

Stamp:

cc LA 28 Beacon Street
Marblehead MA 01945
617 686 9875

dei 14 Spring Street
Waltham MA 02451
781 850 2731
DESIGN • ENGINEERING • INNOVATION

Stamp:

NORTH

Scale:
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CITY OF NEWTON BASE

Date:
29 Oct 2019

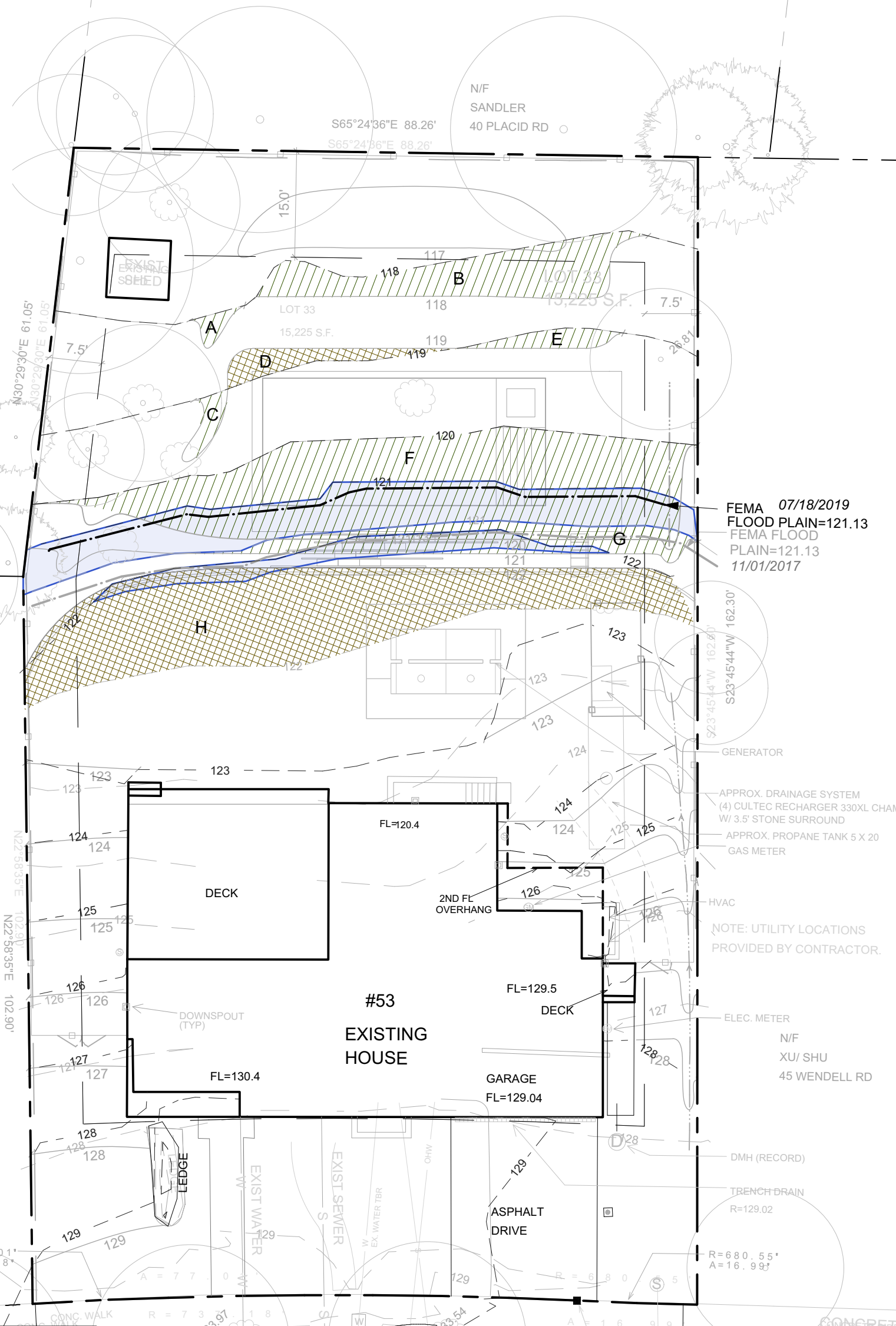
Title: **PROPOSED SITE PLAN** | Sheet No: **2.0**

Project Name: Sharav-Zalkind Residence | Project Location: 53 Wendell Road Newton MA

Revisions	Number	Date	Description

LEGEND

- LIMIT OF WORK
- PROPERTY LINE
- FLOOD ELEVATION
- BUILDING(S)
- EXISTING CONTOUR
- PROPOSED GRADE BREAK
- PROPOSED CONTOUR
- EXISTING TREES
- CUT
- FILL
- UNPERMITTED FILL



FEMA 07/18/2019
FLOOD PLAIN=121.13
FEMA FLOOD
PLAIN=121.13
11/01/2017

Base Survey produced by
Everett M Brooks Co.,
617-527-8750, as As-Built
survey for Bldg Permit#
18050344, dated: 07/18/2019

AREA	ELEV	AREA	DELTA	CUT	FILL	NET
A	118	16	0.20	4.0	0	71.5 CUT
B		270	0.25	67.5	0	
C		25	0.35	8.75	0	
D	119	66	0.20	0	13.2	1.7 CUT
E		41	0.15	6.15	0	
F	120	1,029	0.50	514.5	0	514.5 CUT
G	121	227	0.50	113.5	0	113.5 CUT
H	122	898	0.25	0	224.5	224.5 FILL
TOTAL				714.4	237.7	

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617 686 9875

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Waltham MA 02451
781 850 2731
DESIGN • ENGINEERING • INNOVATION

Scale:

1/16" = 1'- 0"
CITY OF NEWTON BASE
Date: 29 Oct 2019

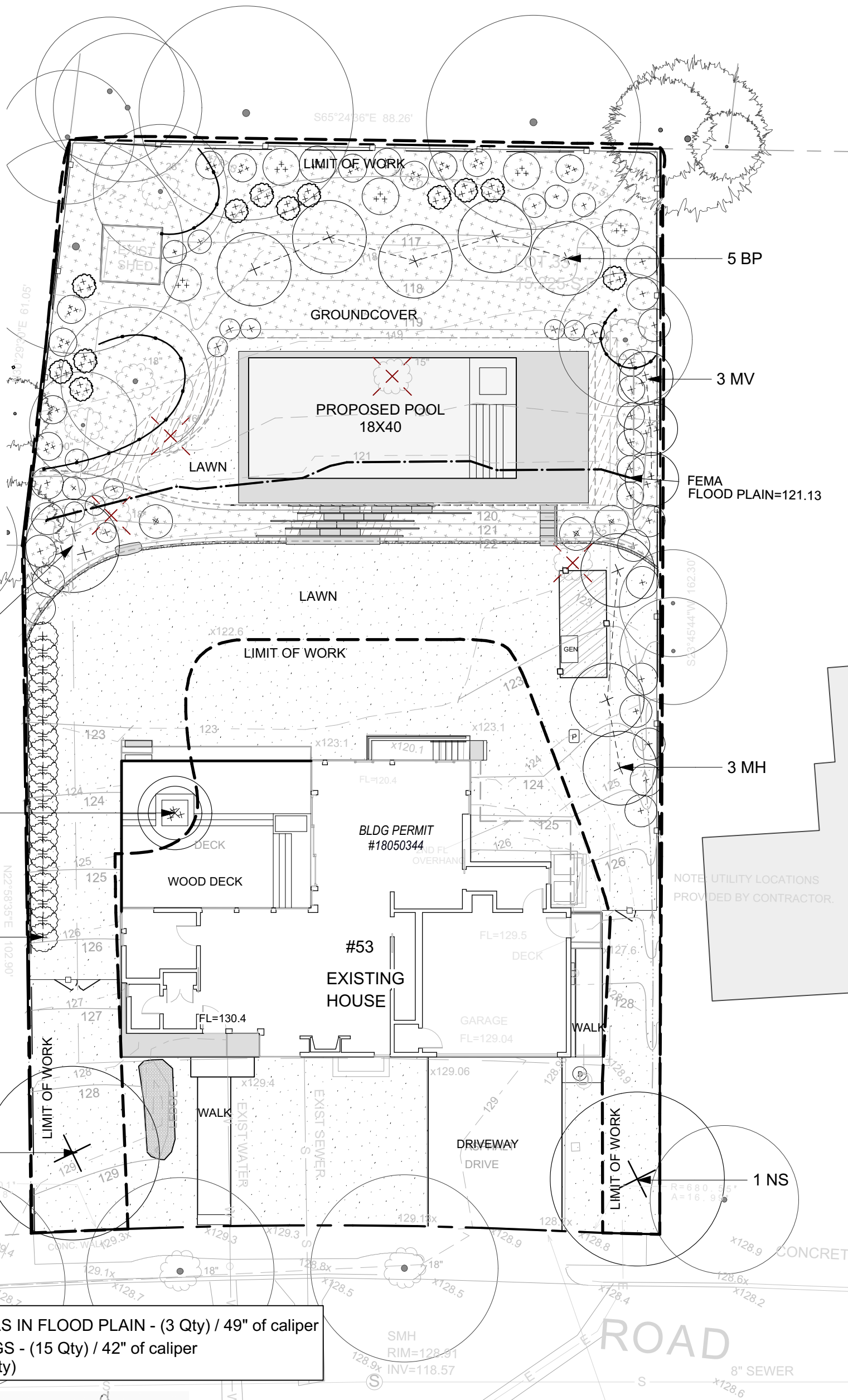
Title: **CUT + FILL ANALYSIS** Sheet No: **3.0**

Project Name: Sharav-Zalkind Residence Project Location: 53 Wendell Road Newton MA

Revisions	Number	Date	Description

LEGEND

- LIMIT OF WORK
- PROPERTY LINE
- FLOOD ELEVATION
- BUILDING(S)
- WOOD DECK
- EXISTING CONTOUR
- PROPOSED GRADE BREAK
- PROPOSED CONTOUR
- PROPOSED SPOT GRADE
- TREE PROTECTION FENCING
- SILT FENCING
- PROPOSED INFILTRATION TRENCH
- PROPOSED POOL FENCING
- PROPOSED POOL EQUIPMENT
- PROPOSED PAVING
- PROPOSED STONE RISERS
- EXISTING TREES TO REMAIN
- EXISTING TREES TO BE REMOVED
- PROPOSED TREES
- LAWN
- PROPOSED GROUNDCOVER, 4-6"
- PROPOSED GROUNDCOVER 8-12"



SEE PLANT LIST - $\frac{3}{5.0}$

PROPOSED TREE REMOVALS IN FLOOD PLAIN - (3 Qty) / 49" of caliper
 PROPOSED TREE PLANTINGS - (15 Qty) / 42" of caliper
 PROPOSED SHRUBS - (73 Qty)

Stamp:

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 Marblehead MA 01945
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dei
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NORTH

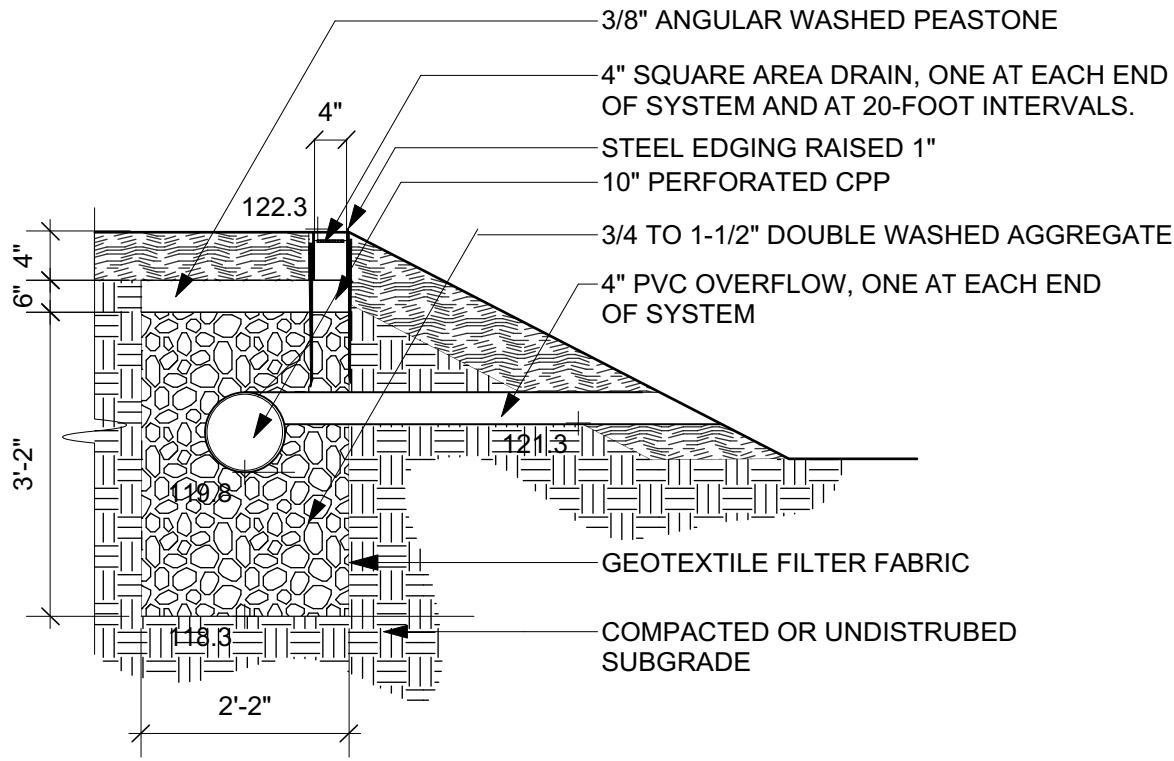
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 1/16" = 1'- 0"
 CITY OF NEWTON BASE

Date:
 29 Oct 2019

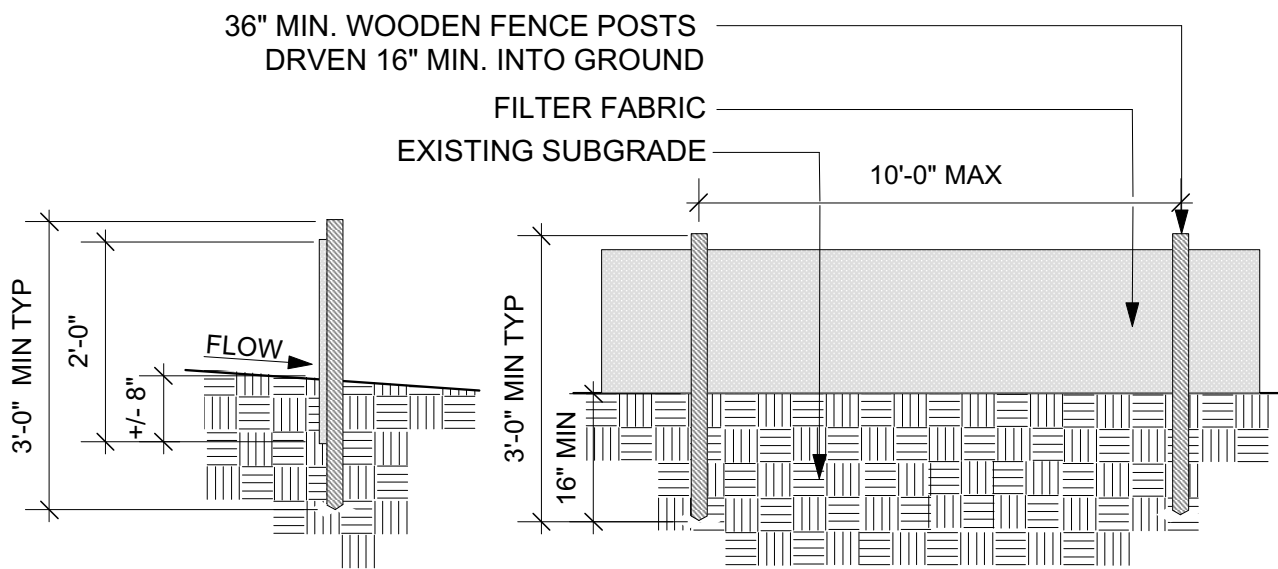
Title: **PROPOSED PLANTING PLAN 4.0** Sheet No:

Project Name: Sharav-Zalkind Residence Project Location: 53 Wendell Road Newton MA

Revisions	Number	Date	Description



1 INFILTRATION TRENCH
Scale: 1/2" = 1'-0"



2 SILT FENCE
Scale: 1/2" = 1'-0"

PLANT LIST		<i>Zalkind Residence</i>		PERMIT		
Sym	Latin Name	Common Name	Quantity	Size	Notes	Caliper Inch
Canopy Trees						
GB	Ginkgo biloba	Maidenhair Tree	1	3" CAL	single trunk	3
NS	Nyssa sylvatica	Black Gum	1	3" CAL	single trunk	3
Trees						
AG	Acer grisuem	Paperbark Maple	1	8-10' HGT	single stem	3
BP	Betula papyrifera	Paper Birch	5	8-10' HGT	multi-stem	15
CC	Malus 'Honeycrisp'	Honeycrisp Apple	3	2" CAL	single trunk	6
MS	Magnolia soulangiana 'Alba Superba'	Alba Superba Saucer Magnolia	1	8-10' HGT	multi-stem	3
MV	Magnolia virginiana	Sweetbay Magnolia	3	8-10' HGT	multi-stem	9
Hedge						
FG	Fagus grandiflora	American Beech	25	6-7' HGT	single trunk	37.5
Shrubs						
CA	Clethra alnifolia	Sweet Pepperbush	12	#5 CONT		
CF	Cornus alternifolia	Pagoda Dogwood	6	#5 CONT		
FG	Fothergilla gardenii	Dwarf Fothergilla	10	#5 CONT		
HQ	Hydrangea querifolia	Oakleaf Hydrangea	6	#5 CONT		
IP	Ilex penduculosa	Longstalk Holly	16	#5 CONT		
TC	Tsuga canadensis	Eastern Hemlock	12	#5 CONT		
VA	Viburnum acerfolium	Mapleleaf Viburnum	8	#5 CONT		
VP	Viburnum plicatum tom. 'Mariesii'	Mariesi Doublefile Viburnum	3	#5 CONT		

3 PLANT SCHEDULE

Stamp: 	Stamp: 	Scale: NORTH 	Title: SITE DETAILS + PLANT LIST	Sheet No: 5.0																
		AS NOTED CITY OF NEWTON BASE	Project Name: Sharav-Zalkind Residence	Project Location: 53 Wendell Road Newton MA																
		Date: 29 Oct 2019	<table border="1"> <thead> <tr> <th>Revisions</th> <th>Number</th> <th>Date</th> <th>Description</th> </tr> </thead> <tbody> <tr> <td> </td> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> <td> </td> </tr> </tbody> </table>		Revisions	Number	Date	Description												
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