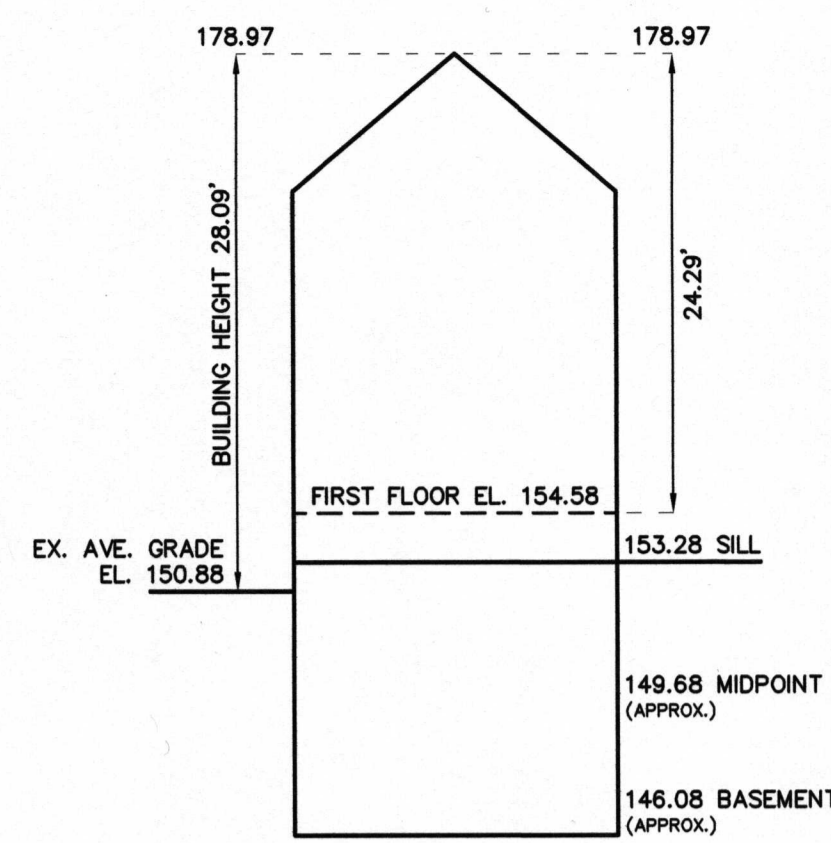


222150_ac.dwg

LEGEND

BUILDING	
PROPERTY LINE W/ BEARING DISTANCE	S81°36'34"E 116.23'
CONTOUR	-70-
STOCKADE FENCE	
CHAINLINK FENCE	
PICKET FENCE	
SEWER LINE	S
DRAIN LINE	D
WATER LINE	W
GAS LINE	G
GAS VALVE	
WATER VALVE	
DRAIN MANHOLE	
SEWER MANHOLE	
CATCH BASIN	
UTILITY POLE	
LIGHT POLE	
DECIDUOUS TREE	DEC. 22"
CONIFEROUS TREE	CON. 12"
FIRE HYDRANT	



EXISTING BUILDING HEIGHT
NOT TO SCALE

ZONING CHART
NEWTON, MASSACHUSETTS

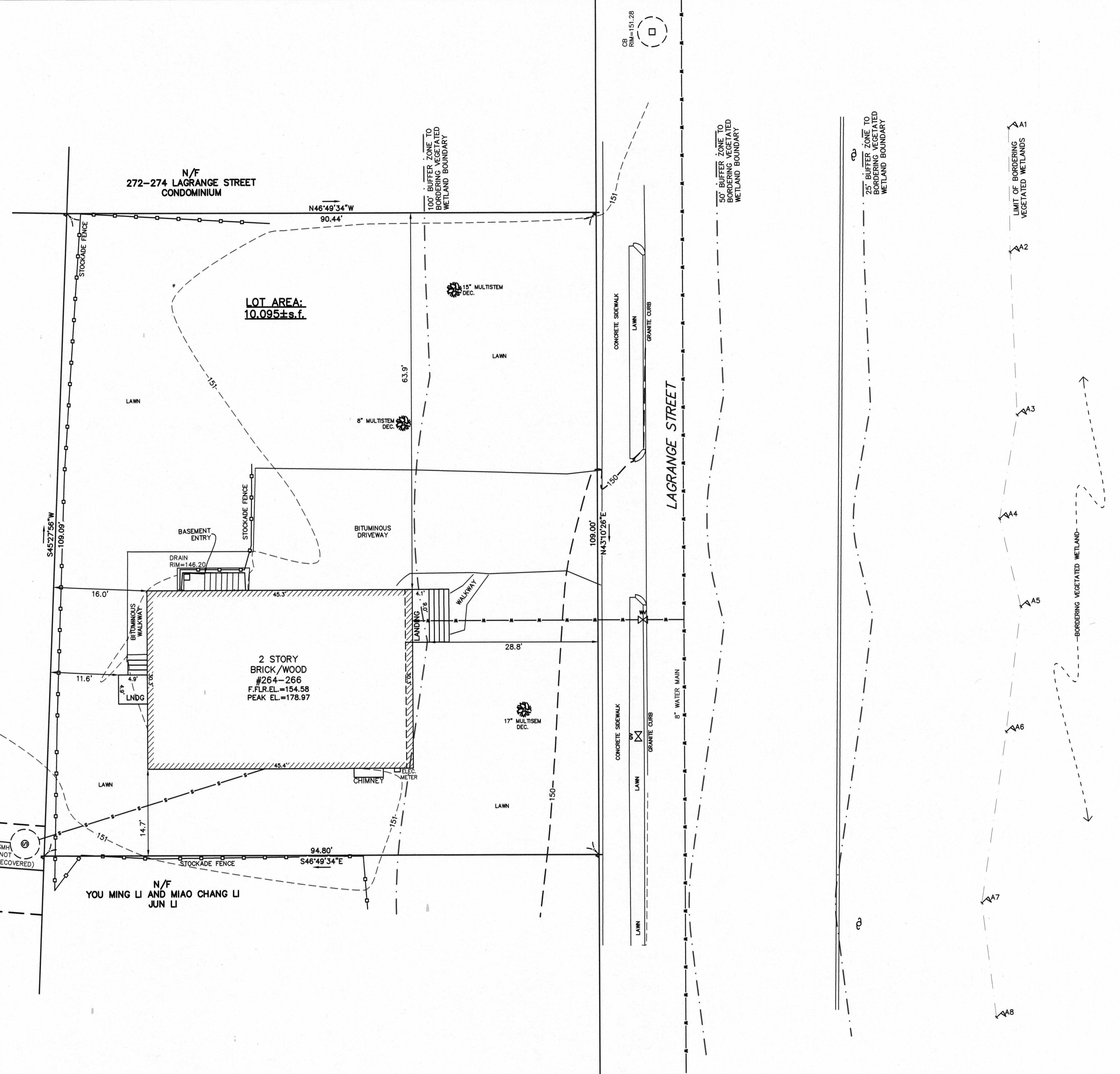
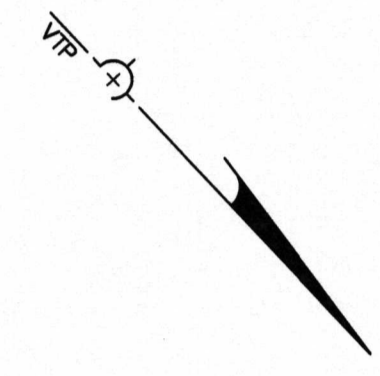
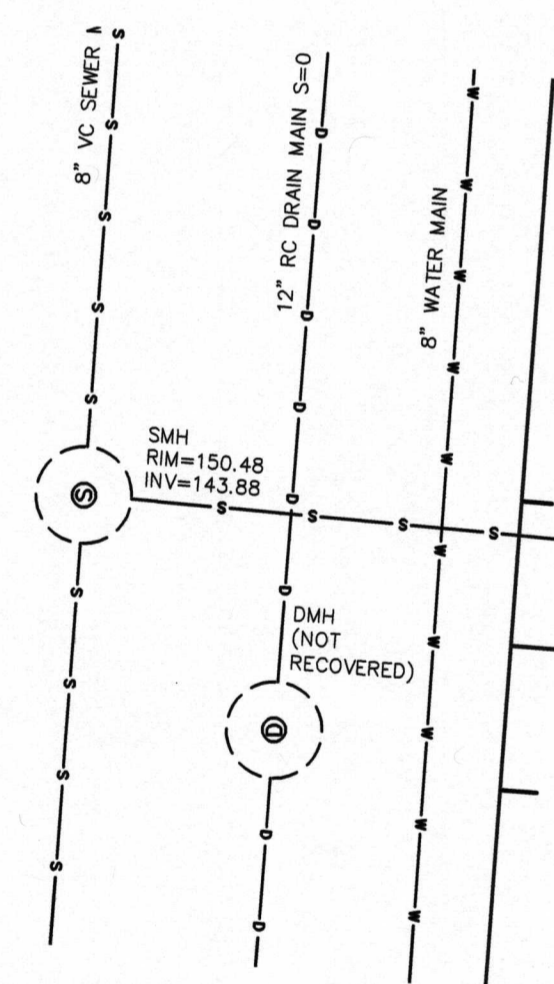
ZONE: MR-1 (NEW)	SUBMISSION: EXISTING	
REGULATION	REQUIRED	EXISTING
LOT AREA	10,000sq.f.	10,095sq.f.
LOT FRONTAGE	80.0'	109.0'
FRONT SETBACK	30.0'	28.8'
SIDE SETBACK	10.0'	14.7'
REAR SETBACK	15.0'	11.6'
BUILDING HEIGHT	36.0'	28.09'
AVERAGE GRADE	-	150.88
LOT COVERAGE	30.0%	13.6%
OPEN SPACE	50.0%	75.0%

*** DOES NOT MEET REQUIREMENTS ***

Length Weighted Mean
Existing Conditions Average Grade Calculation

A Segment	B Length Of Segment In Feet	C Height of High Point of Segment	D Height of Low Point of Segment	E=(C+D)/2 Average Segment Height	F=BxE
1	45.36	151.03	150.84	150.94	6846.41 Sq. Ft.
	11.06	151.04	150.97	151.01	1670.12 Sq. Ft.
2	4.94	150.97	150.93	150.95	745.69 Sq. Ft.
	2.50	150.93	150.91	150.92	377.30 Sq. Ft.
	11.75	151.00	150.91	150.96	1773.72 Sq. Ft.
3	45.32	151.00	150.74	150.87	6837.43 Sq. Ft.
	8.99	150.74	150.66	150.70	1354.79 Sq. Ft.
4	21.31	150.81	150.66	150.74	3212.16 Sq. Ft.
	Total	151.23			22817.63 Sq. Ft.

Total Column F / Total Column B = Average Grade
Average Grade: 150.88'



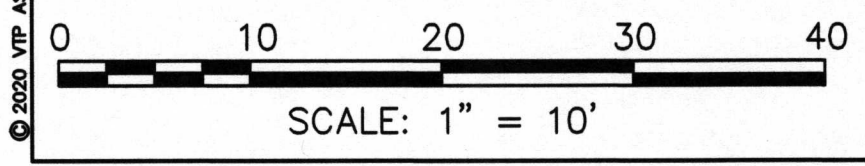
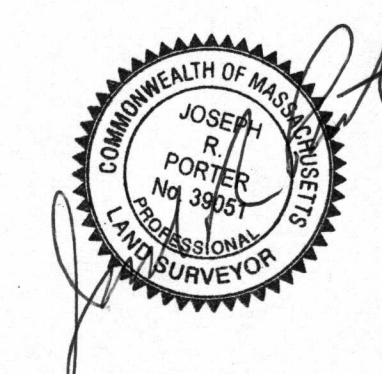
TOPOGRAPHIC SITE PLAN
NEWTON(CH), MASSACHUSETTS
SHOWING EXISTING CONDITIONS AT
#264-266 LAGRANGE STREET
SCALE: 1in.=10ft. DATE: OCTOBER 25, 2022

PROJECT: 222150

VTP
ASSOCIATES
INC.

LAND SURVEYORS - CIVIL ENGINEERS.
132 ADAMS STREET 2ND FLOOR SUITE 3
NEWTON, MA 02458
(617) 332-8271

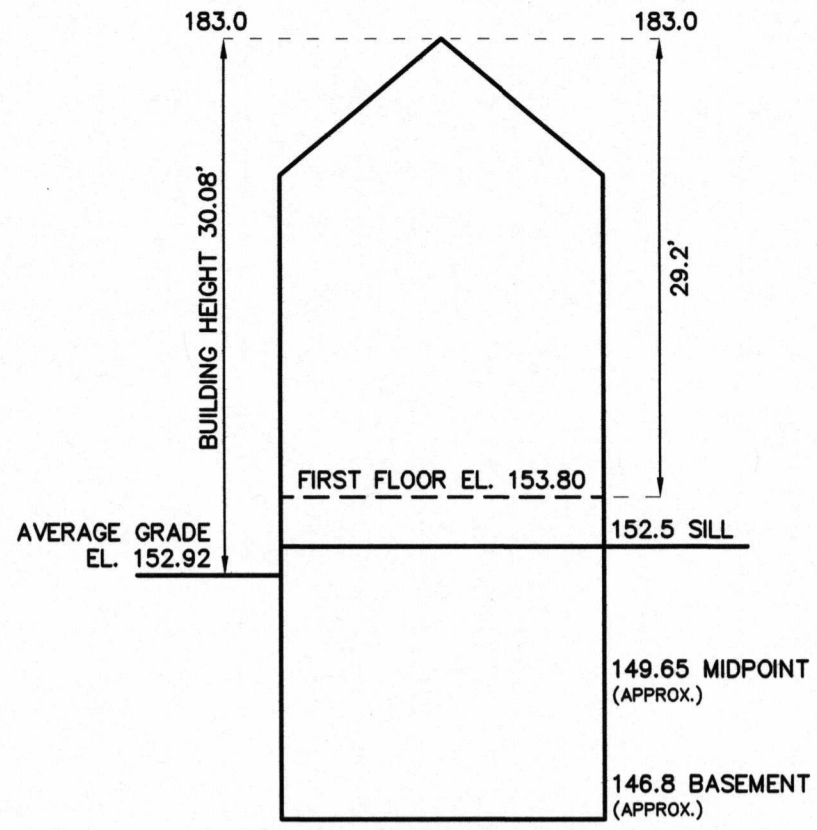
SHEET 1 OF 1



LEGEND

- BUILDING
- PROPERTY LINE W/ BEARING DISTANCE
- CONTOUR
- STOCKADE FENCE
- CHAINLINK FENCE
- PICKET FENCE
- SEWER LINE
- DRAIN LINE
- WATER LINE
- GAS LINE
- GAS VALVE
- WATER VALVE
- DRAIN MANHOLE
- SEWER MANHOLE
- CATCH BASIN
- UTILITY POLE
- LIGHT POLE
- DECIDUOUS TREE DEC. 22"
- CONIFEROUS TREE CON. 12"
- FIRE HYDRANT

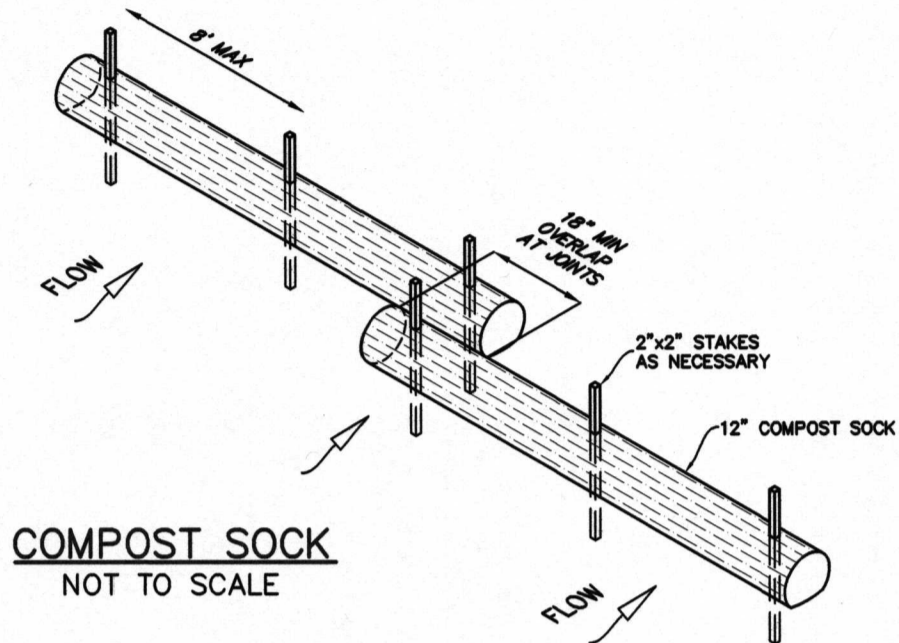
ZONING CHART			
NEWTON, MASSACHUSETTS			
REGULATION	REQUIRED	EXISTING	PROPOSED
LOT AREA	10,000s.f.	10,095s.f.	N/C
LOT FRONTAGE	80.0'	109.0'	N/C
FRONT SETBACK	30.0'	28.8'	32.3'
SIDE SETBACK	10.0'	14.7'	10.3'
REAR SETBACK	15.0'	11.6'	15.2'
BUILDING HEIGHT	36.0'	28.09'	30.08'
AVERAGE GRADE	-	150.88	152.92
LOT COVERAGE	30.0%	13.6%	26.4%
OPEN SPACE	50.0%	75.0%	53.9%



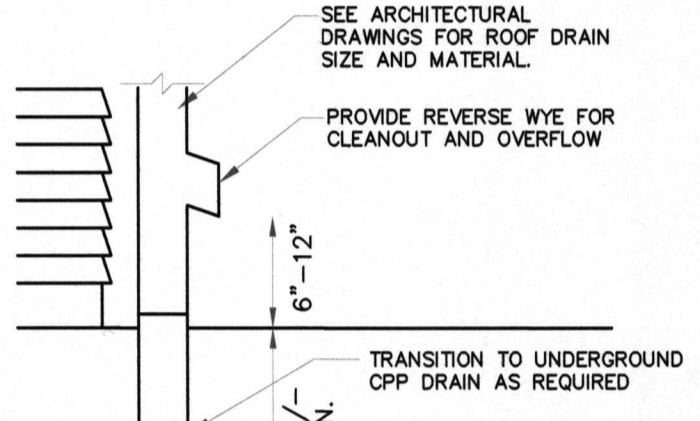
PROPOSED BUILDING HEIGHT
NOT TO SCALE

Length Weighted Mean					
Proposed Conditions Average Grade Calculation					
Segment	Length Of Segment in Feet	Height of High Point of Segment	Height of Low Point of Segment	Est(C+D)/2 Average Segment Height	F=Bx/E
1	22.00	151.50	151.50	151.50	3333.00 Sq. Ft.
2	25.30	151.60	151.60	151.60	3835.48 Sq. Ft.
3	9.00	151.50	151.50	151.50	1363.50 Sq. Ft.
4	16.20	151.50	151.50	151.50	2454.30 Sq. Ft.
5	21.50	151.30	151.30	151.30	3252.95 Sq. Ft.
6	21.70	151.80	151.80	151.80	3294.06 Sq. Ft.
7	6.00	151.80	151.80	151.80	910.80 Sq. Ft.
8	24.30	151.80	151.40	151.60	3683.88 Sq. Ft.
9	17.70	151.40	151.20	151.30	2678.01 Sq. Ft.
10	13.90	151.80	151.00	151.40	2104.46 Sq. Ft.
	23.20	151.50	151.00	151.25	3509.00 Sq. Ft.
11	17.30	151.50	151.50	151.50	2620.95 Sq. Ft.
12	6.20	181.70	151.80	166.75	1033.85 Sq. Ft.
13	16.30	181.70	151.70	166.70	2717.21 Sq. Ft.
Total	240.60				36791.45 Sq. Ft.

Total Column F / Total Column B = Average Grade
Average Grade: 152.92'

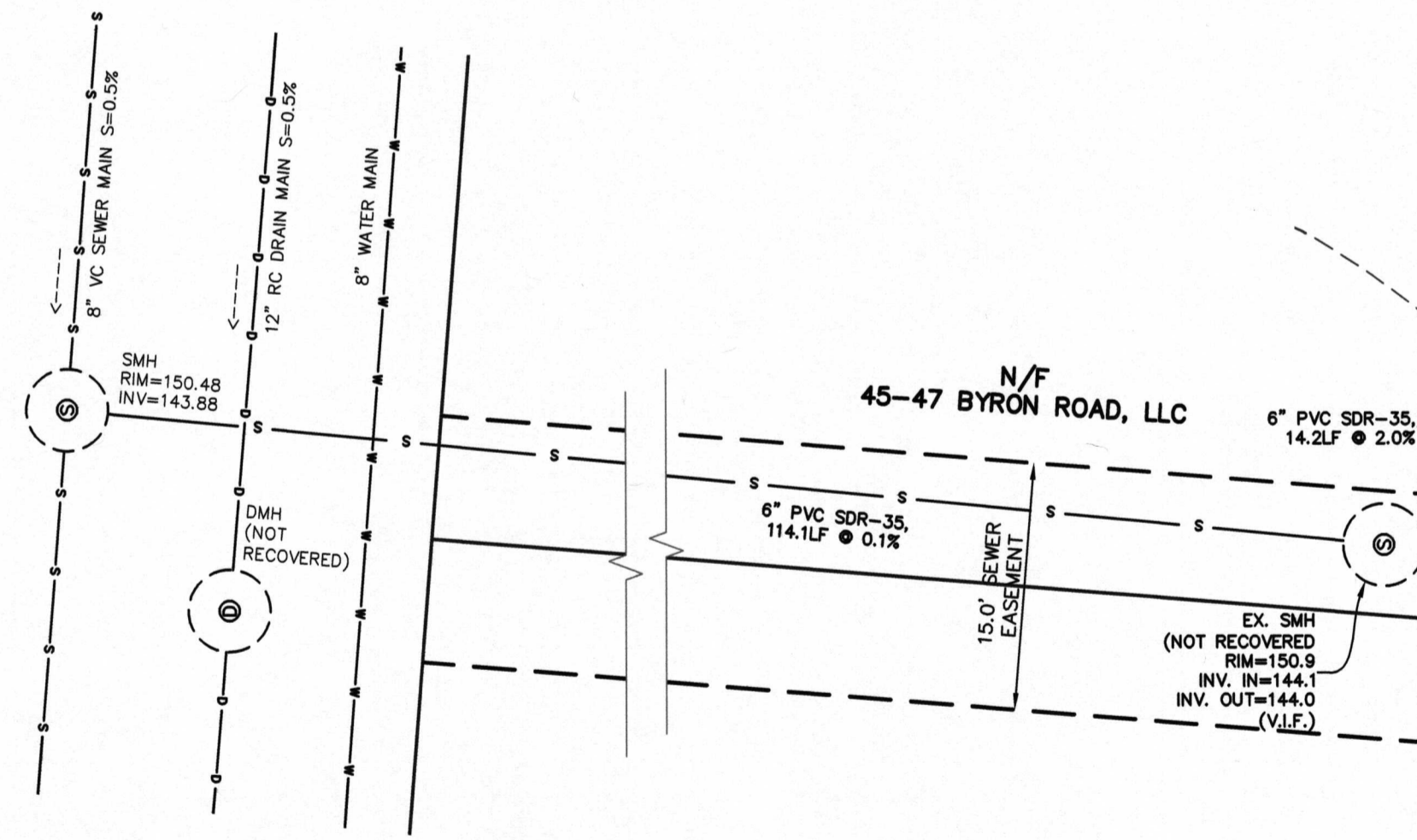


PROPOSED SAPPLINGS		
SYMBOL	DESCRIPTION	CALIPER
Ⓚ	FLOWERING DOGWOOD (CORNUS FLORIDA)	1.5"
Ⓛ	REDBUD (CERCIS CANADENSIS)	1.5"

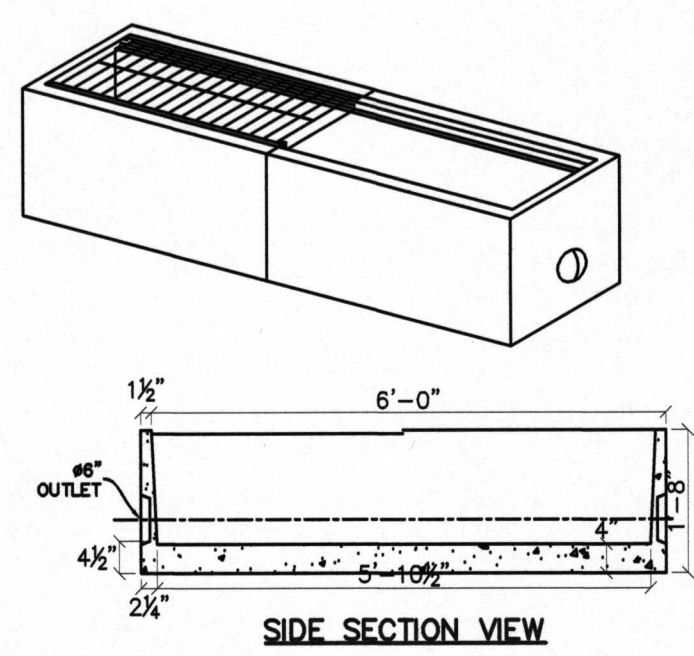


IMPERVIOUS AREA CALCULATION		
	EXISTING	PROPOSED
BUILDING	0.0s.f.	2,660.3s.f.
PORCH	0.0s.f.	1,991.7s.f.
WALKWAY	0.0s.f.	260.3s.f.
PATIO	0.0s.f.	23.5s.f.
WALLS	0.0s.f.	474.9s.f.
TOTAL	0.0s.f.	5,410.7s.f.

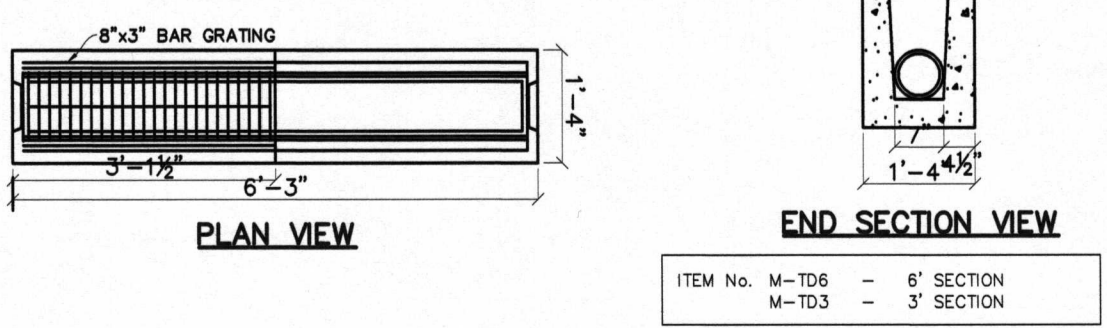
INCREASE IN IMPERVIOUS AREA = 5,410.7s.f.
LOT AREA = 10,095.0s.f.
4% OF LOT AREA (OR 400s.f. MAX.) = 400s.f. MAX.
5,410.7s.f. > 400.0s.f. ---> DRAINAGE REQUIRED



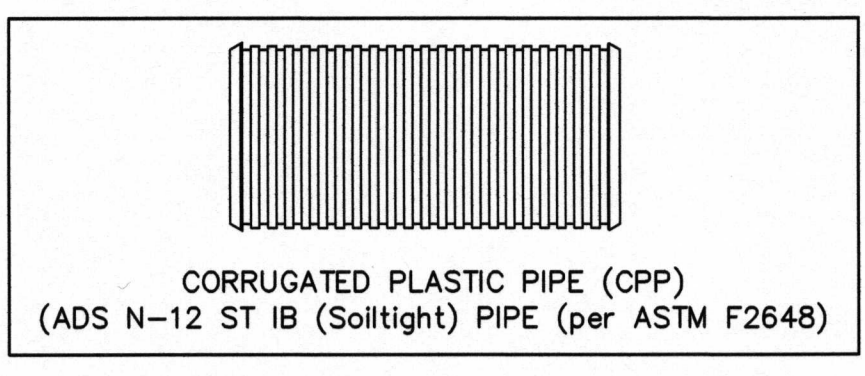
TESTPIT LOG	
TEST PIT 1 (EL.=150.6)	
0-12"	TOPSOIL
12-96"	FILL (PEAT, SOME ASH & FEW BOULDERS)
96-148"	LOAMY SAND
WATER @ 120" (EL.=150.6) NO REFUSAL	
TEST PIT 2 (EL.=151.3)	
0-12"	TOPSOIL
12-40"	SUB-SOIL
40-96"	LOAMY SAND WITH GRAVEL AND COBBLES
NO WATER REFUSAL @ 96" (EL.=143.3)	
TEST PIT 3 (EL.=150.7)	
0-12"	TOPSOIL
12-36"	FILL (PEAT, SOME ASH & FEW BOULDERS)
36-60"	LOAMY SAND WITH GRAVEL AND COBBLES
60-108"	LOAMY SAND WITH GRAVEL
WEEPING @ 105" (EL.=142.0) REFUSAL @ 108" (EL.=141.7)	



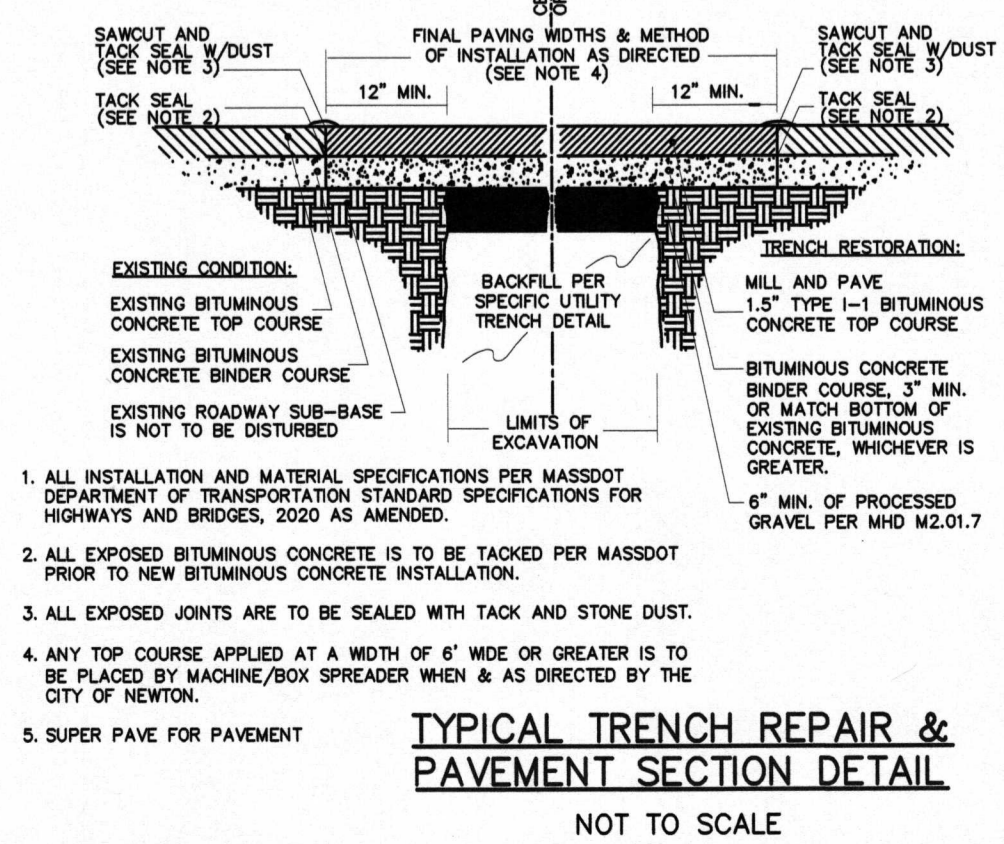
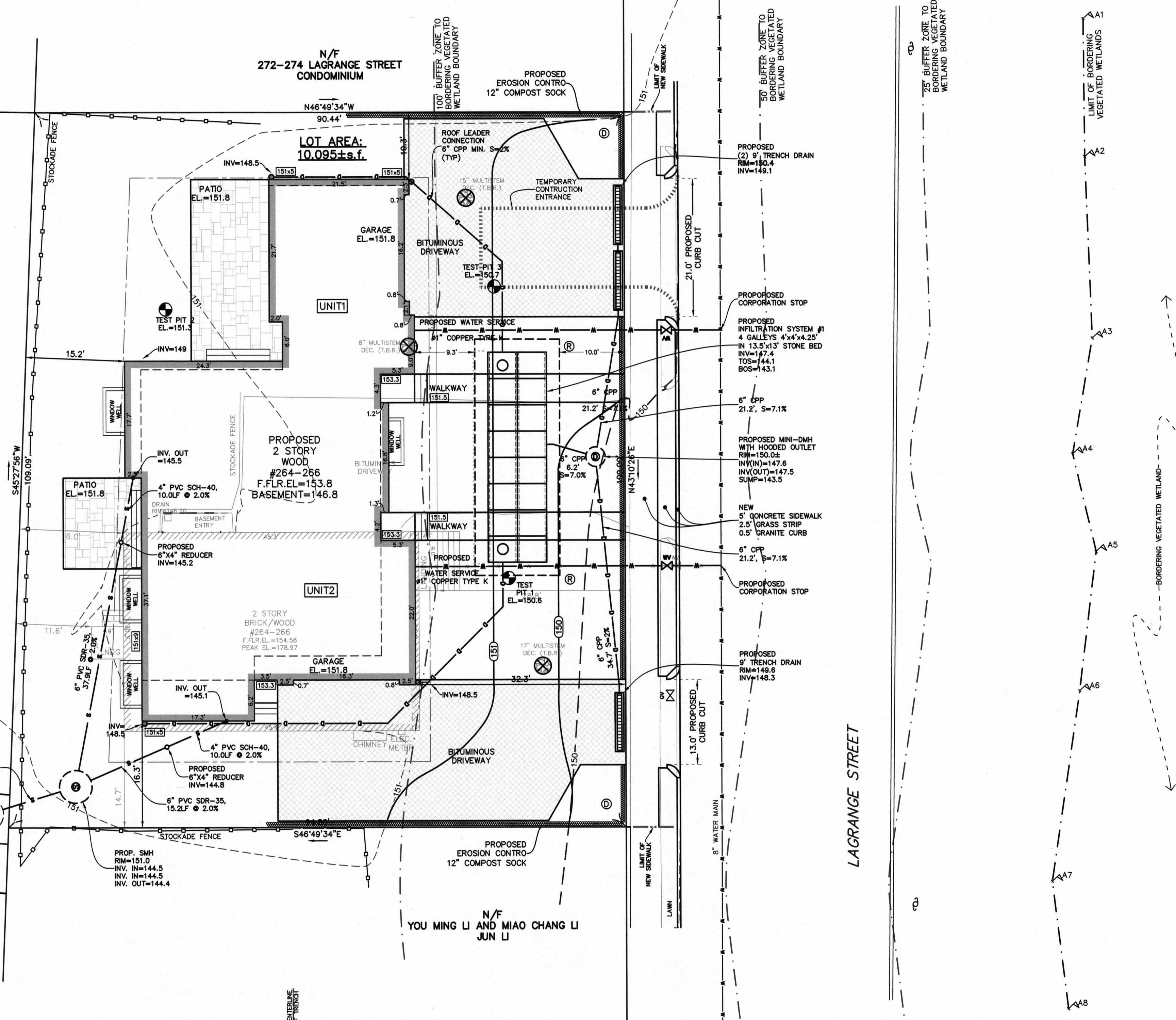
DIG SAFE
EXCAVATORS BEFORE YOU DIG CONTACT THE DIG SAFE CENTER TO PREVENT DAMAGE TO TELEPHONE, GAS OR ELECTRIC UNDERGROUND FACILITIES OF MEMBER UTILITIES. CALL TOLL FREE 1-888-344-7233. MASSACHUSETTS STATE LAW REQUIRES NOTIFICATION AT LEAST THREE BUSINESS DAYS BEFORE YOU START DIGGING OPERATIONS. IN AN EMERGENCY, CALL IMMEDIATELY.



TRENCH DRAIN DETAIL
NOT TO SCALE

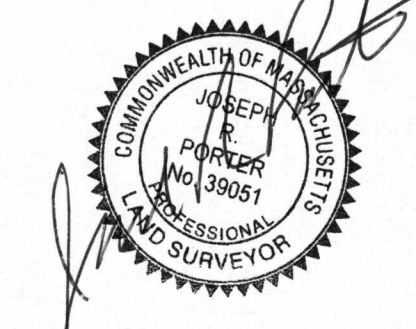


CORRUGATED PLASTIC PIPE (CPP)
(ADS N-12 ST IB (Soiltight) PIPE (per ASTM F2648))



TYPICAL TRENCH REPAIR & PAVEMENT SECTION DETAIL
NOT TO SCALE

TOPOGRAPHIC SITE PLAN
NEWTON(CH), MASSACHUSETTS
SHOWING PROPOSED CONDITIONS AT
#264-266 LAGRANGE STREET
SCALE: 1in.=10ft. DATE: NOVEMBER 1, 2022

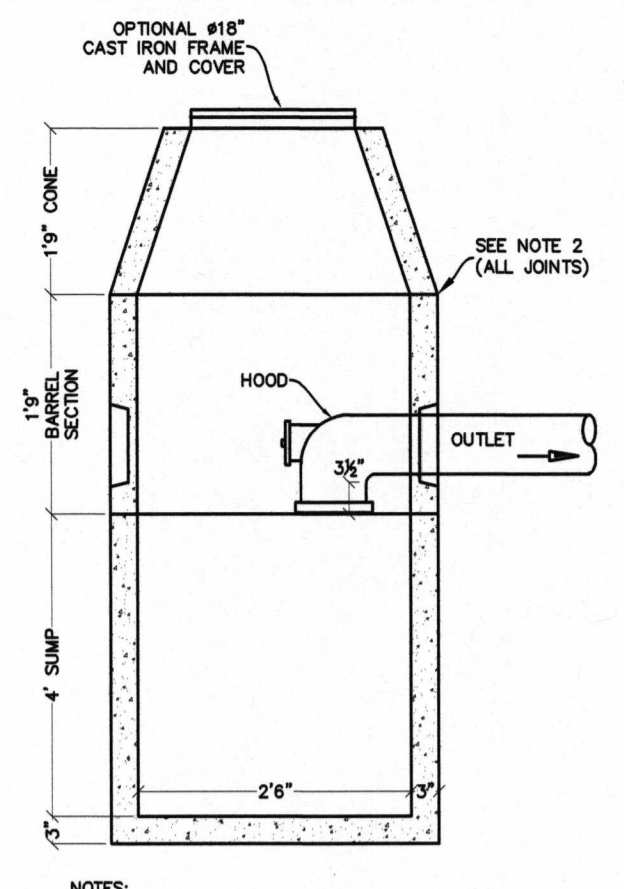


PROJECT: 222150
VTP ASSOCIATES INC.
LAND SURVEYORS - CIVIL ENGINEERS
132 ADAMS STREET 2ND FLOOR SUITE 3
NEWTON, MA 02458
(617) 332-8271
SHEET 1 OF 2

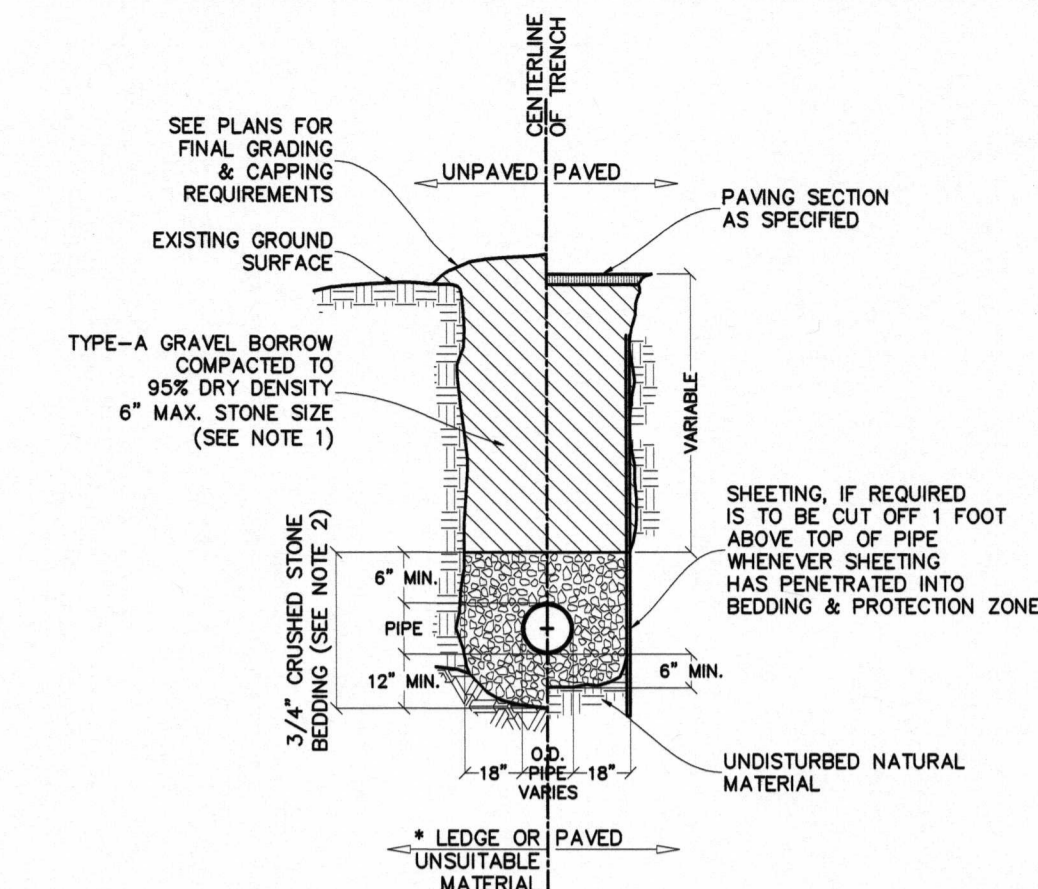
222150.dwg
© 2020 VTP ASSOCIATES, INC.

GENERAL & UTILITIES NOTES:

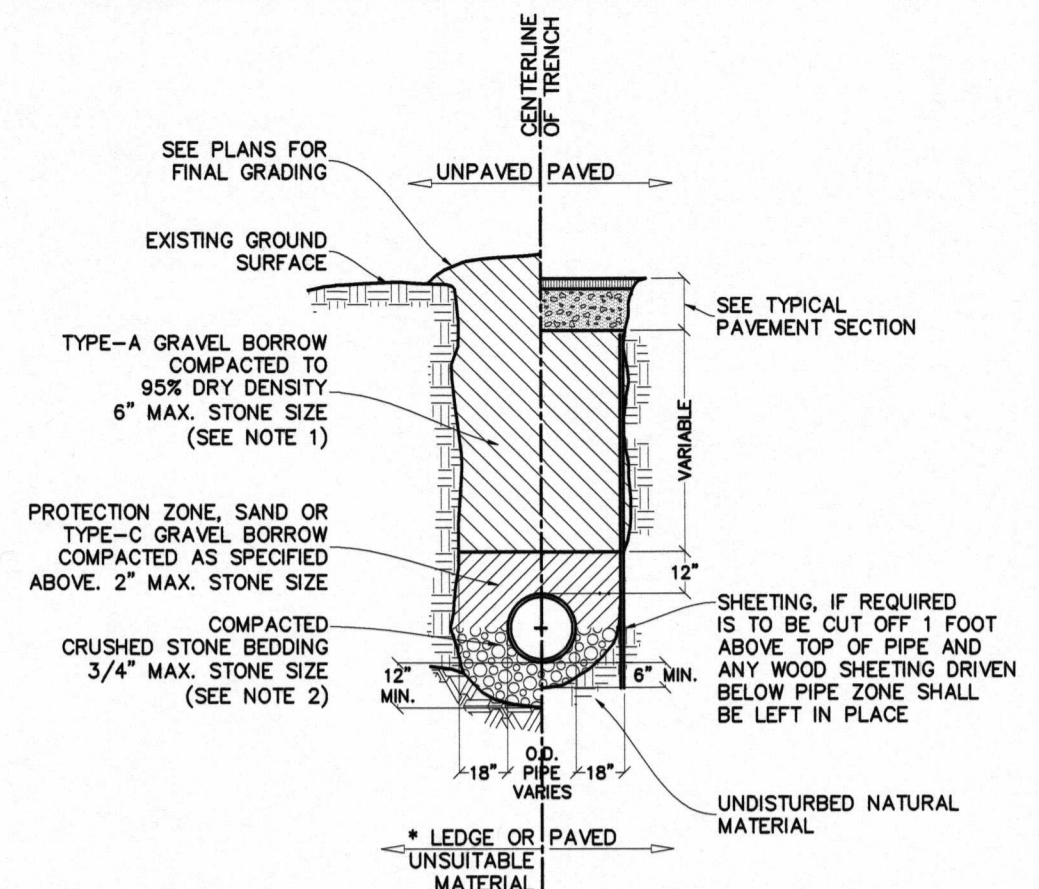
1. ALL NEW SEWER SERVICE AND/OR STRUCTURES SHALL BE PRESSURE TESTED OR VIDEO TAPED AFTER FINAL INSTALLATION IS COMPLETE. THE METHOD OF FINAL INSPECTION SHALL BE DETERMINED SOLELY BY THE CONSTRUCTION INSPECTOR FROM THE CITY ENGINEERING DIVISION. ALL SEWER MANHOLES SHALL BE VACUUM TESTED IN ACCORDANCE TO THE CITY'S CONSTRUCTION STANDARDS & SPECIFICATIONS. THE SEWER SERVICE WILL NOT BE ACCEPTED UNTIL ONE OF THE TWO METHODS STATED ABOVE IS COMPLETED. ALL TESTING MUST BE WITNESSED BY A REPRESENTATIVE OF THE ENGINEERING DIVISION. A CERTIFICATE OF OCCUPANCY WILL NOT BE RECOMMENDED UNTIL THIS TEST IS COMPLETED AND A WRITTEN REPORT IS RECEIVED BY THE CITY ENGINEER.
2. THE SEWER SERVICES AND WATER SERVICES NEED TO BE COMPLETELY REMOVED FROM THE MAINS TO THE EXISTING DWELLING AND PROPERLY BACK-FILLED. THE CONTRACTOR SHALL MAKE ARRANGEMENTS TO HAVE THIS ABANDONMENT INSPECTED BY A REPRESENTATIVE OF THE ENGINEERING DIVISION, FAILING TO HAVE THESE INSPECTIONS MAY RESULT IN THE DELAY OR DENIAL OF ISSUING NEW UTILITY CONNECTION PERMITS.
3. ALL TRENCH EXCAVATION CONTRACTORS SHALL COMPLY WITH MASSACHUSETTS GENERAL LAWS CHAPTER 82A, TRENCH EXCAVATION SAFETY REQUIREMENTS, TO PROTECT THE GENERAL PUBLIC FROM UNAUTHORIZED ACCESS TO UNATTENDED TRENCHES. TRENCH EXCAVATION PERMIT REQUIRED. THIS APPLIES TO ALL TRENCHES ON PUBLIC AND PRIVATE PROPERTY.
4. THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING THE ENGINEERING DIVISION AND SCHEDULING AN APPOINTMENT 48 HOURS PRIOR TO THE DATE WHEN THE UTILITIES WILL BE MADE AVAILABLE FOR AN INSPECTION OF WATER SERVICES, SEWER SERVICES, AND DRAINAGE SYSTEM INSTALLATION. THE UTILITY IS QUESTION SHALL BE FULLY EXPOSED FOR THE INSPECTOR TO VIEW; BACKFILLING SHALL ONLY TAKE PLACE WHEN THE CITY'S INSPECTOR HAS GIVEN THEIR APPROVAL.
5. THE APPLICANT WILL HAVE TO APPLY FOR STREET OPENING, SIDEWALK CROSSING, AND UTILITIES CONNECTING PERMITS WITH THE DEPARTMENT OF PUBLIC WORKS PRIOR TO ANY CONSTRUCTION.
6. PRIOR TO OCCUPANCY PERMIT BEING ISSUED, AN AS-BUILT PLAN SHALL BE SUBMITTED TO THE ENGINEERING DIVISION IN BOTH DIGITAL FORMAT AND HARD COPY. THE PLAN SHOULD SHOW ALL UTILITIES AND FINAL GRADES ANY EASEMENTS AND FINAL GRADING, IMPROVEMENTS AND LIMITS OF RESTORATION WORK. THE PLAN SHALL ALSO INCLUDE PROFILES OF THE VARIOUS UTILITIES, INDICATING RISE & INVERT ELEVATIONS, SLOPES OF PIPES, PIPE MATERIAL, AND SWING TIES FROM PERMANENT BUILDING CORNERS.
7. NO EXCAVATION IS ALLOWED WITHIN ANY CITY RIGHT-OF-WAY BETWEEN NOVEMBER 15TH AND APRIL 15TH. IF AN EMERGENCY EXISTS OR THERE ARE EXTENUATING CIRCUMSTANCES, APPLICANT MAY SEEK PERMISSION FOR SUCH WORK FROM THE CITY DPW COMMISSIONER VIA THE CITY ENGINEER. IF PERMISSION IS GRANTED, SPECIAL CONSTRUCTION STANDARDS WILL BE APPLIED. APPLICANT OR APPLICANT'S REPRESENTATIVE MUST CONTACT THE CITY OF NEWTON ENGINEERING DEPARTMENT PRIOR TO START OF WORK FOR CLARIFICATION.
8. ALL SITE WORK INCLUDING TRENCH RESTORATION MUST BE COMPLETED BEFORE A CERTIFICATION OF OCCUPANCY IS ISSUED.
9. THE APPLICANT WILL HAVE TO APPLY FOR STREET OPENING, UTILITY CONNECTION AND TRENCH PERMITS AS WELL AS AN INSTALL CURB & SIDEWALK PERMIT WITH THE DPW PRIOR TO START OF WORK.
10. WITH THE EXCEPTION OF GAS SERVICES, ALL UTILITY TRENCHES WITHIN THE CITY OF NEWTON RIGHT-OF-WAY WILL BE BACKFILLED WITH TYPE 1E (EXCAVATABLE) CONTROLLED DENSITY FILL, AS SPECIFIED BY THE CITY OF NEWTON ENGINEERING SPECIFICATIONS.
11. APPROVAL OF THIS PLAN BY THE CITY OF NEWTON ENGINEERING DIVISION IMPLIES THAT THE PLAN MEETS THE MINIMAL DESIGN STANDARDS OF THE CITY OF NEWTON. HOWEVER, THE ENGINEERING DIVISION MAKES NO REPRESENTATIONS AND ASSUMES NO RESPONSIBILITY FOR THE DESIGN(S) IN TERMS OF SUITABILITY FOR THE PARTICULAR SITE CONDITIONS OR OF THE FUNCTIONABILITY OR PERFORMANCE OF ANY ITEMS CONSTRUCTED IN ACCORDANCE WITH THE DESIGN(S). THE CITY OF NEWTON ASSUMES NO LIABILITIES FOR DESIGN ASSUMPTION, ERRORS OR OMISSIONS BY THE ENGINEER OF RECORD.
12. ALL SILTATION CONTROL SYSTEMS SHALL BE INSTALLED AND INSPECTED BY THE CONSERVATION COMMISSION AGENT(S) PRIOR TO ANY CONSTRUCTION.
13. THE ENGINEER OF RECORD IS RESPONSIBLE FOR THE ON-SITE INSPECTION(S) OF ALL SUBSURFACE STRUCTURES. THIS INCLUDES BUT IS NOT LIMITED TO DRAINAGE UTILITIES (INCLUDING SEWER PIPE SLOPE), ROOF LEADER COLLECTION SYSTEM, TRENCH DRAINS, MANHOLES, ETC. ENGINEER OF RECORD MUST ALSO CONDUCT BOTTOM OF HOLE INSPECTION(S) PRIOR TO SUBSURFACE DRAINAGE SYSTEM(S) BEING INSTALLED.
14. PRIOR TO THE ENGINEERING DIVISION RECOMMENDING THAT A CERTIFICATE OF OCCUPANCY BE ISSUED, AN AS-BUILT PLAN MUST BE SUBMITTED. THE AS-BUILT PLAN MUST SHOW DIMENSIONS TIES FROM FIXED POINTS (FOUNDATION CORNERS) TO ALL SUBSURFACE COMPONENTS AS WELL AS FINAL GRADING. THE AS-BUILT PLAN MUST BE STAMPED, SIGNED, AND DATED BY THE ENGINEER OF RECORD.
15. FIVE YEAR MORATORIUM - IF AT TIME OF CONSTRUCTION THE ROADWAY IS UNDER A 5-YEAR MORATORIUM, THE ROADWAY MUST BE MILLED AND PAVED GUTTER-TO-GUTTER FOR A DISTANCE OF 25 FEET IN EACH DIRECTION FROM THE OUTERMOST TRENCHES.
16. ALL WORK MUST BE DONE IN ACCORDANCE WITH CITY OF NEWTON STANDARD SPECIFICATIONS AND CITY OF NEWTON CONSTRUCTION DETAILS, COPIES OF WHICH MAY BE OBTAINED AT THE ENGINEERING OFFICE. ALL WORK SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE CITY OF NEWTON ENGINEERING DEPARTMENT.
17. PER CITY OF NEWTON ORDINANCE NO.8-42, COUNCIL ITEM #251-19, BUILDING SEWER, WATER SERVICE PIPE AND SIDEWALK/CURB REPLACEMENT ORDINANCE, THE APPLICANT IS REQUIRED TO INSTALL/REPLACE SIDEWALK AND CURB ALONG THE ENTIRE FRONTAGE. THIS SHALL INCLUDE APPROPRIATE TRANSITION TO ADJOINING CURBING AND WALKWAYS, INCLUDING ACCESSIBLE CURB CUTS AND OTHER ACCESS AS REQUIRED. THE ENGINEERING CONSTRUCTION INSPECTOR MAKES A DETERMINATION, BASED ON THE MATERIAL AND MANNER OF CONSTRUCTION OF THE EXISTING SIDEWALK AND CURB, THAT THE EXISTING SIDEWALK AND CURB HAS THE ABILITY TO BE RE-SET OR REUSED WITHOUT REPLACEMENT.



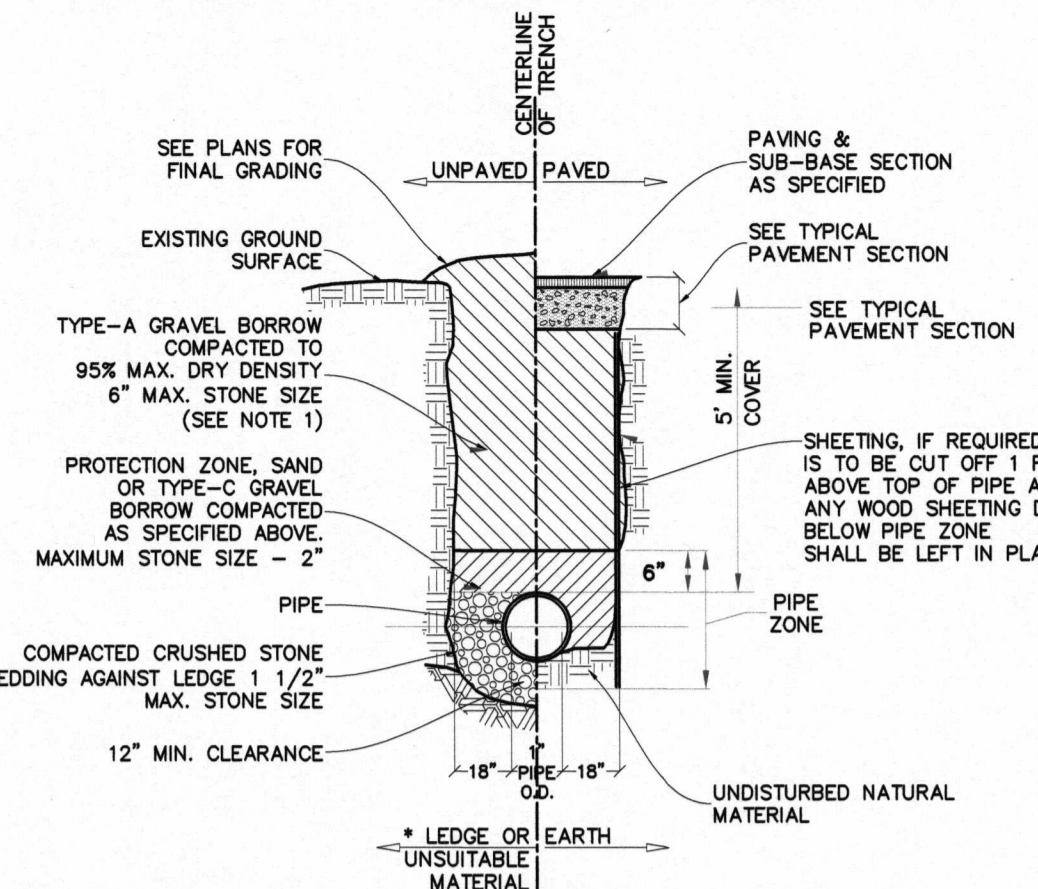
30" MINI DRAIN MANHOLE WITH HOOD
NOT TO SCALE



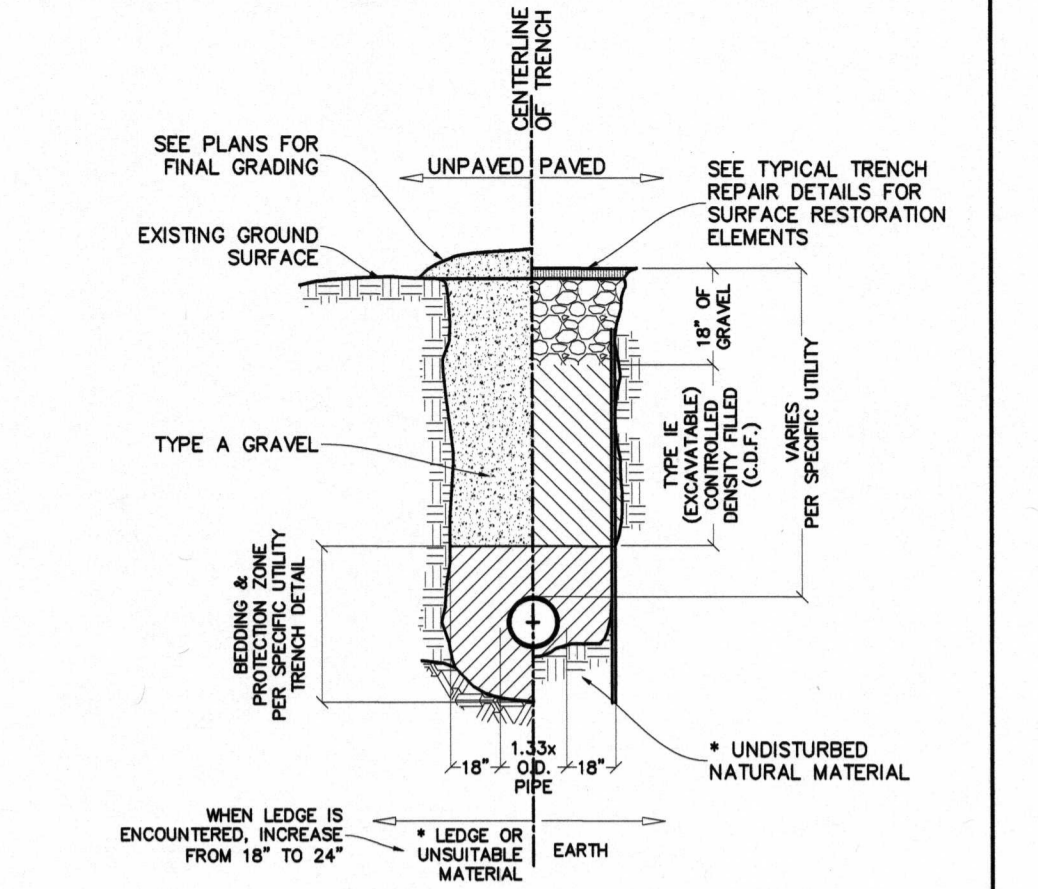
GRAVITY SEWER TRENCH DETAIL
NOT TO SCALE



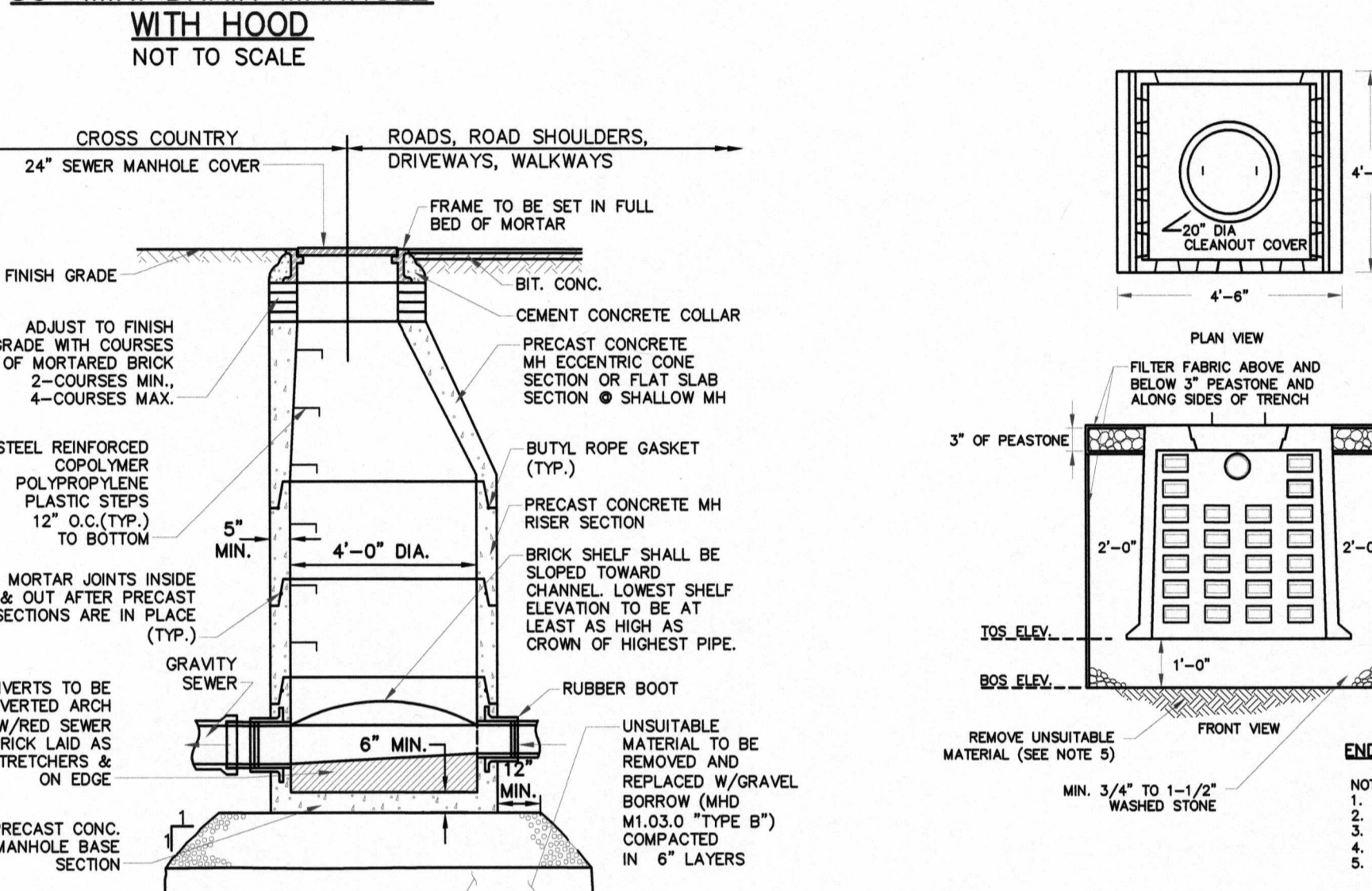
P.V.C. DRAIN TRENCH DETAIL
NOT TO SCALE



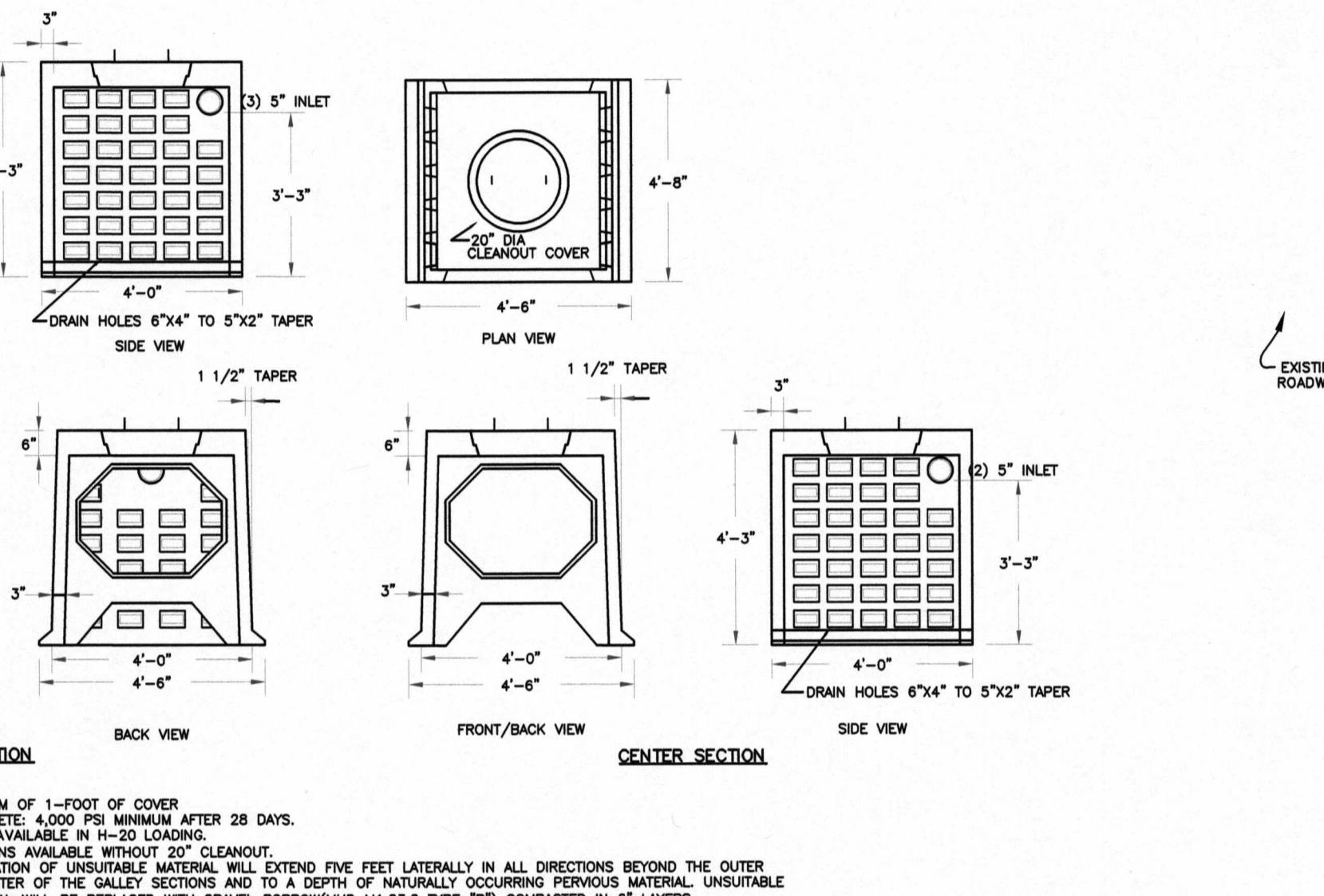
WATER SERVICE TRENCH DETAIL
NOT TO SCALE



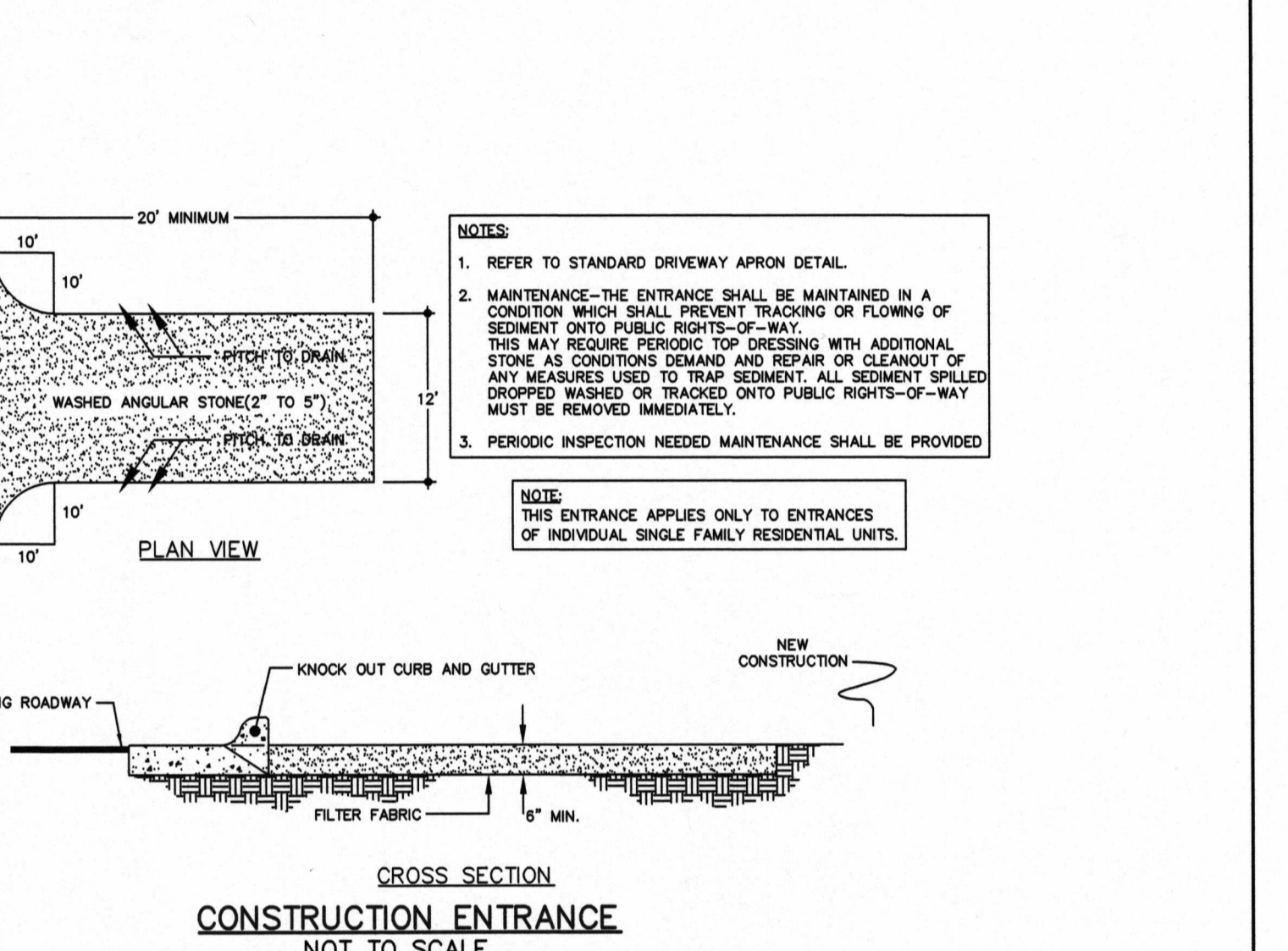
C.D.F. TRENCH DETAIL
NOT TO SCALE



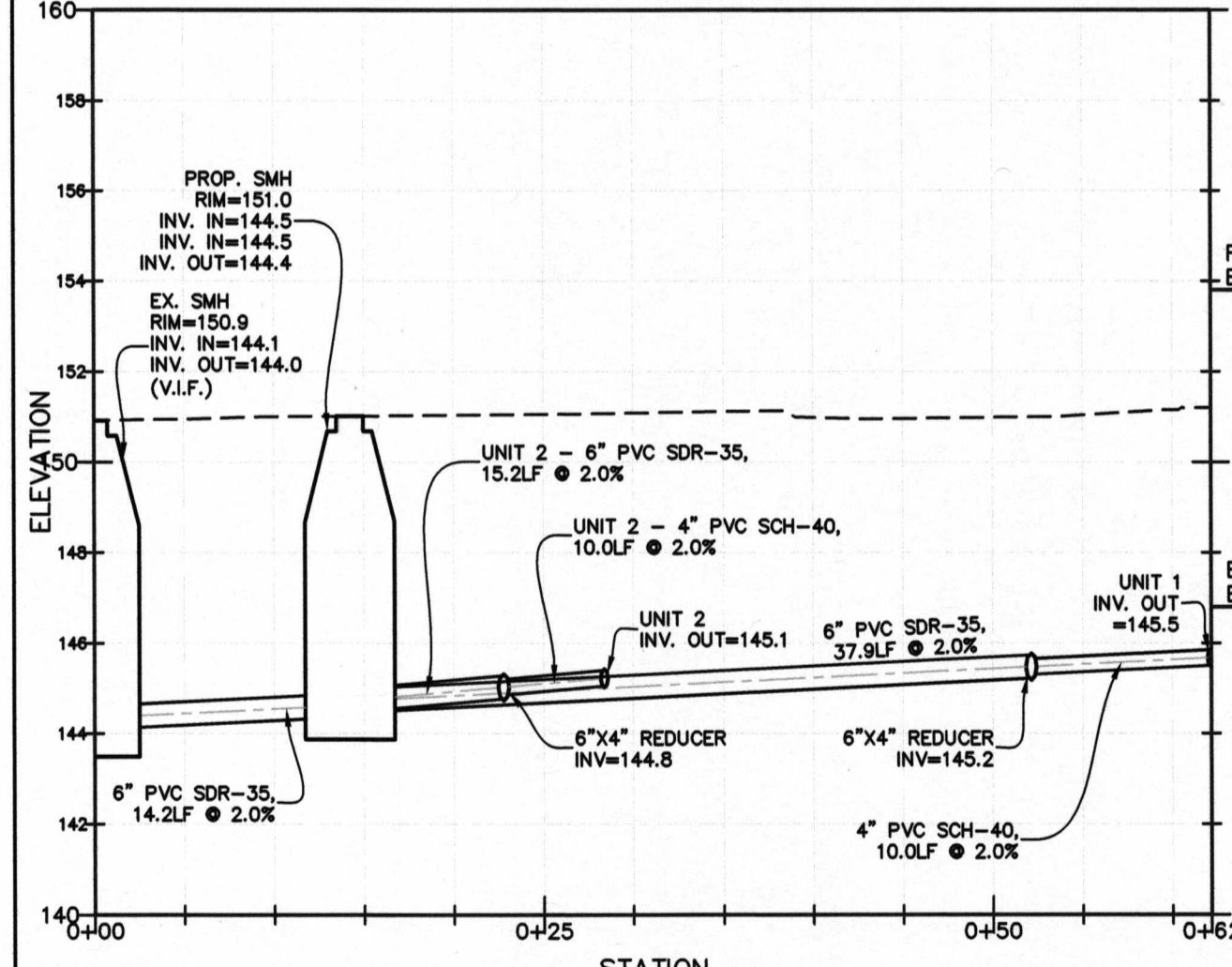
TYPICAL SEWER MANHOLE DETAIL
NOT TO SCALE



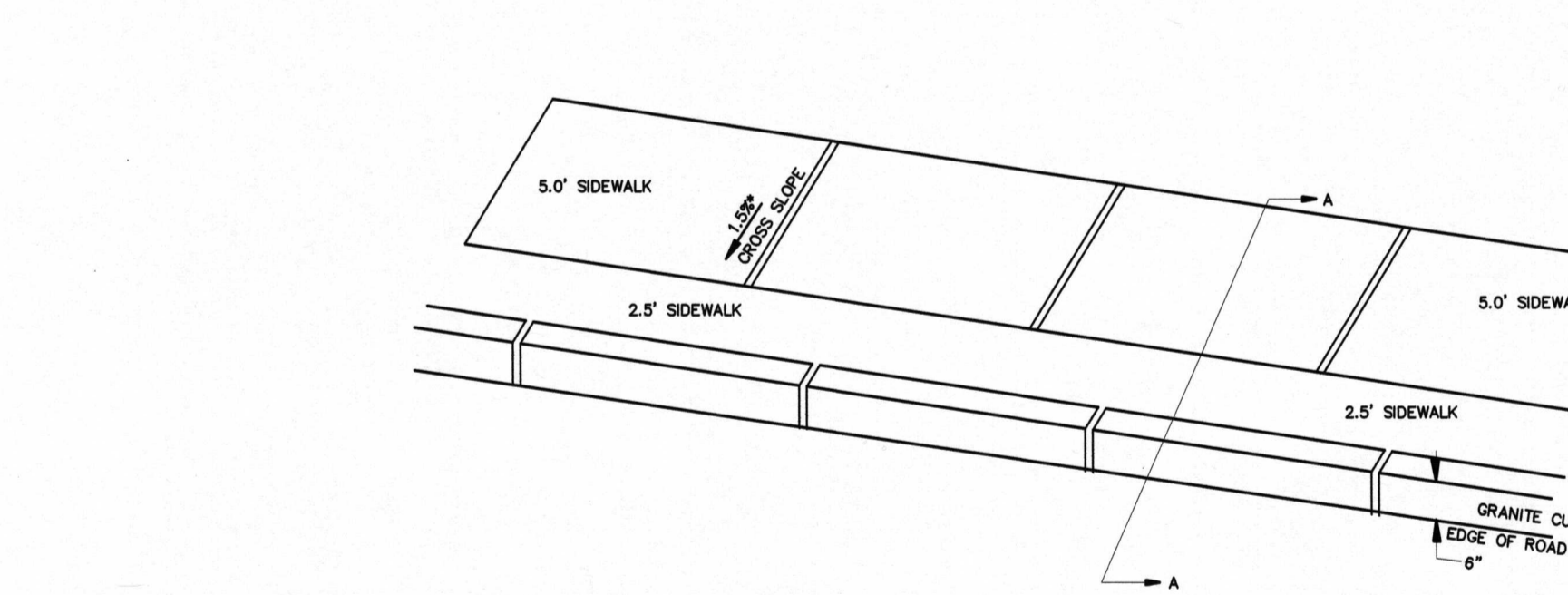
GALLEY SECTIONS
NOT TO SCALE



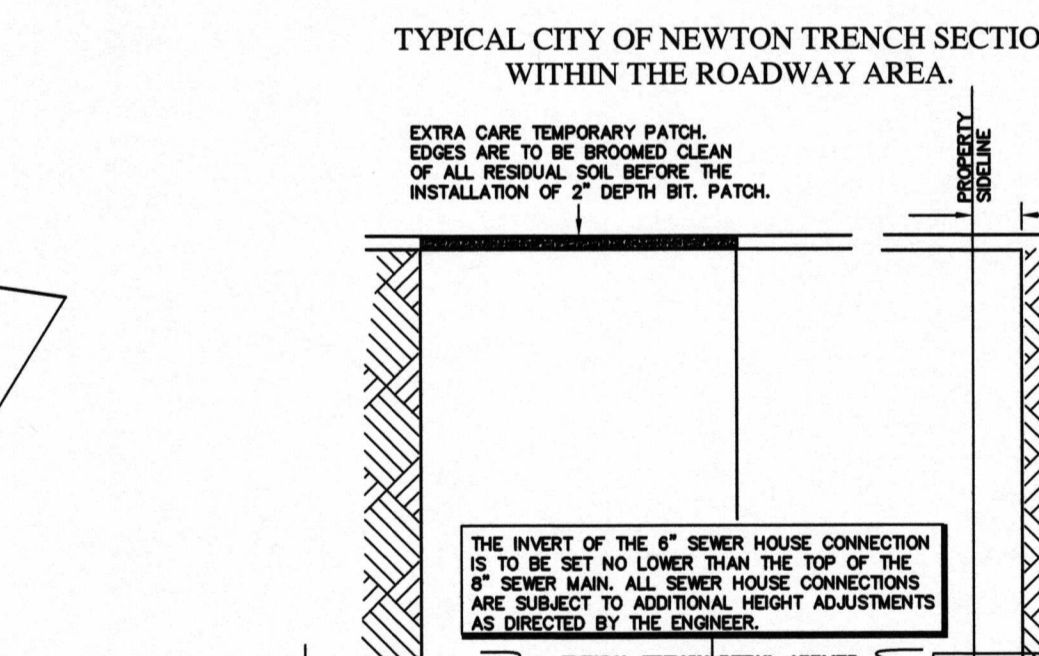
CONSTRUCTION ENTRANCE
NOT TO SCALE



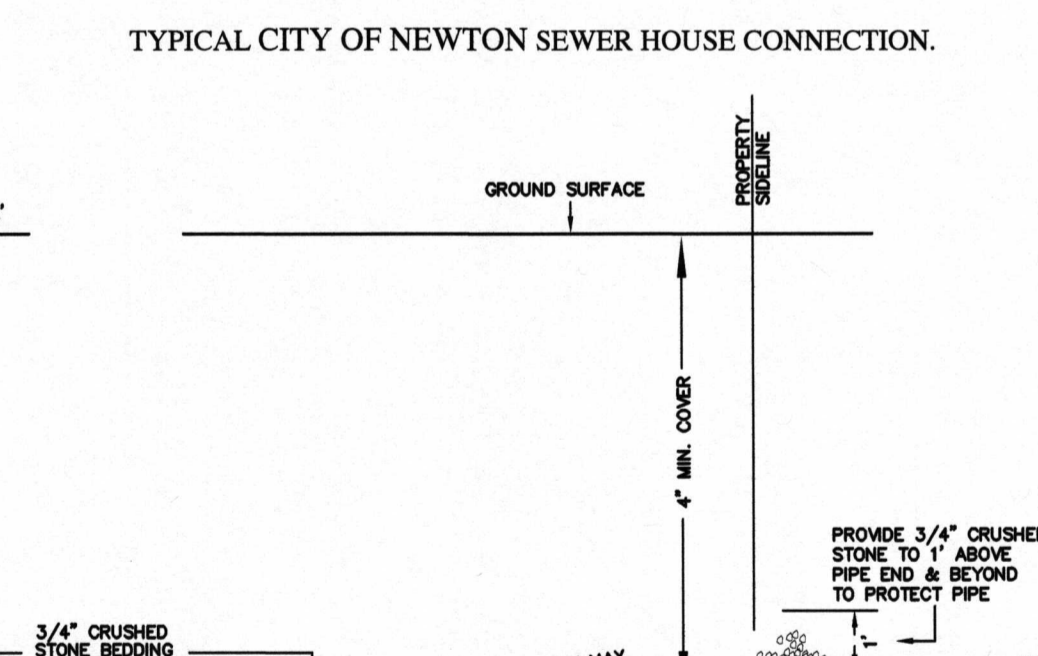
PROPOSED SEWER SERVICE PROFILE
SCALE: 1"=10' (HORIZONTAL)
SCALE: 1"=4' (VERTICAL)



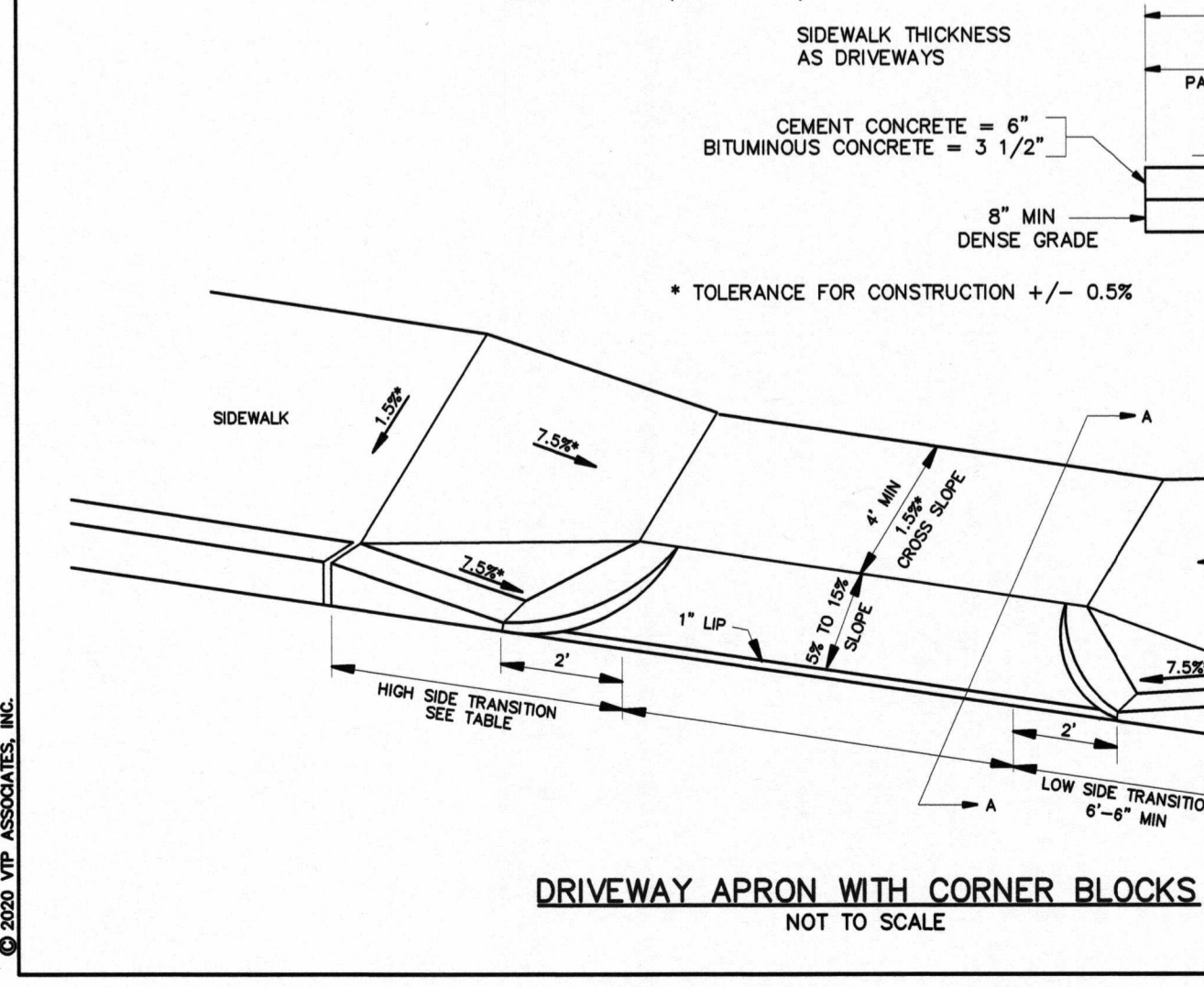
PROPOSED GRANITE CURB, GRASS STRIP & SIDEWALK DETAIL
NOT TO SCALE



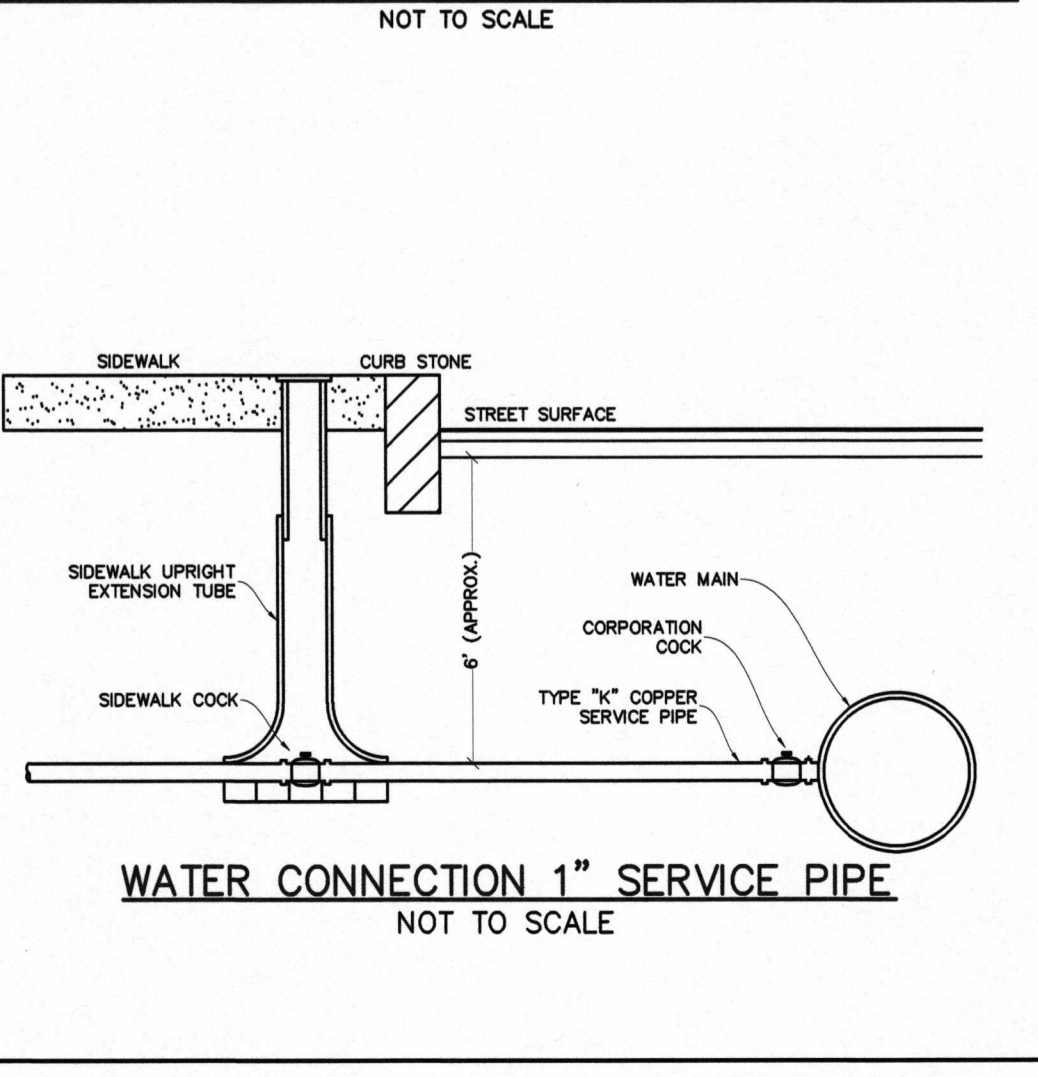
TYPICAL CITY OF NEWTON TRENCH SECTION WITHIN THE ROADWAY AREA



TYPICAL CITY OF NEWTON SEWER HOUSE CONNECTION



DRIVEWAY APRON WITH CORNER BLOCKS
NOT TO SCALE



WATER CONNECTION 1" SERVICE PIPE
NOT TO SCALE

DETAILS
NEWTON(CH), MASSACHUSETTS
SHOWING EXISTING CONDITIONS AT
#264-266 LAGRANGE STREET
SCALE: N.T.S. DATE: NOVEMBER 1, 2022

PROJECT: 222150
VTP ASSOCIATES INC.
LAND SURVEYORS - CIVIL ENGINEERS
132 ADAMS STREET 2ND FLOOR SUITE 3
NEWTON, MA 02458
(617) 332-8271
SHEET 2 OF 2

