

#### FLOODPLAIN CUT TABLES

ı				
FOR EXIST. BUILDING				
	ELEVATION	CUT		CUT
		AREA	HEIGHT (FT)	VOLUME
	(FT)	(SF)		(CF)
	44.5-43.5	784	1	784
	43.5-42.5	784	1	784
	42.5-41.5	784	0.3	235.2
	TOTAL			1803.2
		-		

#### FOR EXIST, COVERED PORCH

TON EXIST. COVENED FONCIT				
ELEVATION (FT)	CUT AREA (SF)	HEIGHT (FT)	CUT VOLUME (CF)	
44.5-43.5	166	1	166	
43.5-42.5	166	0.6	99.6	
42.5-41.5	0	0	0	
TOTAL			265.6	

### FOR EXIST. SHED ON CONCRETE SLAB

	TOR EXIST: SHED ON CONCRETE SERB				
	ELEVATION	CUT		CUT	
		AREA	HEIGHT (FT)	VOLUME	
	(FT)	(SF)		(CF)	
	44.5-43.5	157.6	1	157.6	
	43.5-42.5	157.6	1	157.6	
	42.5-41.5	157.6	1	157.6	
	41.5-40.5	157.6	1	157.6	
	40.5-39.5	157.6	0.5	78.8	
	TOTAL			709 2	

## FOR EXIST. CONC & TIMBER STEPS & RET WALLS CUT CUT

	ELEVATION (FT)			
		AREA	HEIGHT (FT)	VOLUME
?	(F1)	(SF)		(CF)
	44.5-43.5	42.6	1	42.6
	43.5-42.5	85.2	1	85.2
	42.5-41.5	127.8	1	127.8
	41.5-40.5	170.4	1	170.4
	40.5-39.5	213	0.5	106.5
	TOTAL			426

### FLOODPLAIN FILL TABLES

GARAGE ON LEFT HAND SIDE					
ELEVATION	FILL		FILL		
(FT)	AREA	HEIGHT (FT)	VOLUME		
(F1)	(SF)		(CF)		
44.5-43.5	327.3	1	327.3		
43.5-42.5	327.3	0.2	65.46		
42.5-41.5	327.3	0	0		

392.76

TOTAL

FLOODPLAIN	GARAGE ON RIGHT HAND SIDE				
NET (CF)	ELEV/ATION	FILL		FILL	
	ELEVATION	AREA	HEIGHT (FT)	VOLUME	
234.5	(FT)		( ,	(CF)	
427.6		(SF)		(CF)	
-	44.5-43.5	327.3	1	327.3	
102.2	43.5-42.5	327.3	1	327.3	
280	73.3-72.3	327.3		327.3	
	42.5-41.5	327.3	0.6	196.38	
66.3	TOTAL			850.98	
1110 6	IOIAL			050.50	

## DRAINAGE AREA SUMMARY

1110.6

ELEV.=76.4'

**34.21'±** FRAMING

E.S.H.G.W ELEV.=33.33'±

**FLOODPLAIN** 

IMPACT / FILL

**VOLUME (CF)** 

915.7

698.8

418.4

48

12.5

2093.4

NOT TO SCALE

FLOODPLAIN

**CUT VOLUME** 

(CF)

1150.2

1126.4

520.6

328

78.8

3204

MITIGATION

\* NOTE: ROOF PEAK

WITH DESIGNERS

PRIOR TO ROOF

PROPOSED FINISHED FLOOR -ELEV.=46.00'±

COMENCEMENT

\_AVG. GRADE PLANE ELEV.=42.19'±

TO BE VERIFIED

XISTING	<b>IMPERVIOUS</b>
70405	

ROOF = 784 S.F.COVERED PORCH = 166 S.F. SHED #1 = 158 S.F.SHED #2 = 74 S.F.

PAVED DRIVEWAY #1 = 328 S.F. PAVED DRIVEWAY #2 = 523 S.F. PATIO & POOL AREA = 1,834 S.F. STEPS & WALKWAYS = 414 S.F. RETAINING WALLS = 201 S.f.PATIO BENEATH DECK = 153 S.F.

## PROPOSED IMPERVIOUS

COVERED PORCHS =56 S.F. SHED =74 S.F. PAVED DRIVEWAY (LHS) =510 S.F. PAVED DRIVEWAY (RHS) = 399 S.F. STEPS & WALKWAYS =92 S.F. RETAINING WALLS = 123 S.F. TOTAL =4,186 S.F.

TOTAL DECREASE IN IMPERVIOUS AREAS =449 SF

PROPOSED DECKS =144 S.F.

#### PAVED DRVEWAY ON LEFT HAND SIDE

ELEVATION	FILL		FILL
(FT)	AREA	HEIGHT (FT)	VOLUME
	(SF)		(CF)
44.5-43.5	109.2	0.7	76.44
43.5-42.5	0	0	0
42.5-41.5	0	0	0
TOTAL			76.44

#### PAVED DRVEWAY & RETAINING WALL (RHS)

ELEV/ATION	FILL		FILL
ELEVATION (FT)	AREA	HEIGHT (FT)	VOLUME
(FT)	(SF)		(CF)
44.5-43.5	97	0.7	67.9
43.5-42.5	212	1	212
42.5-41.5	302	0.5	151
TOTAL			430.9

#### CONCRETE PIERS & SONOTUBES & PROP STEPS

	ELEVATION	FILL		FILL
		AREA	HEIGHT (FT)	VOLUME
	(FT)	(SF)		(CF)
	44.5-43.5	116.8	1	116.8
	43.5-42.5	94	1	94
	42.5-41.5	71	1	71
	41.5-40.5	48	1	48
	40.5-39.5	25	0.5	12.5
	TOTAL			342.3



# Engineering, P.C.

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#### 27 PARSONS STREET NEWTONMASSACHUSETTS

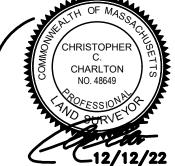
CIVIL PLAN

#### REVISION BLOCK

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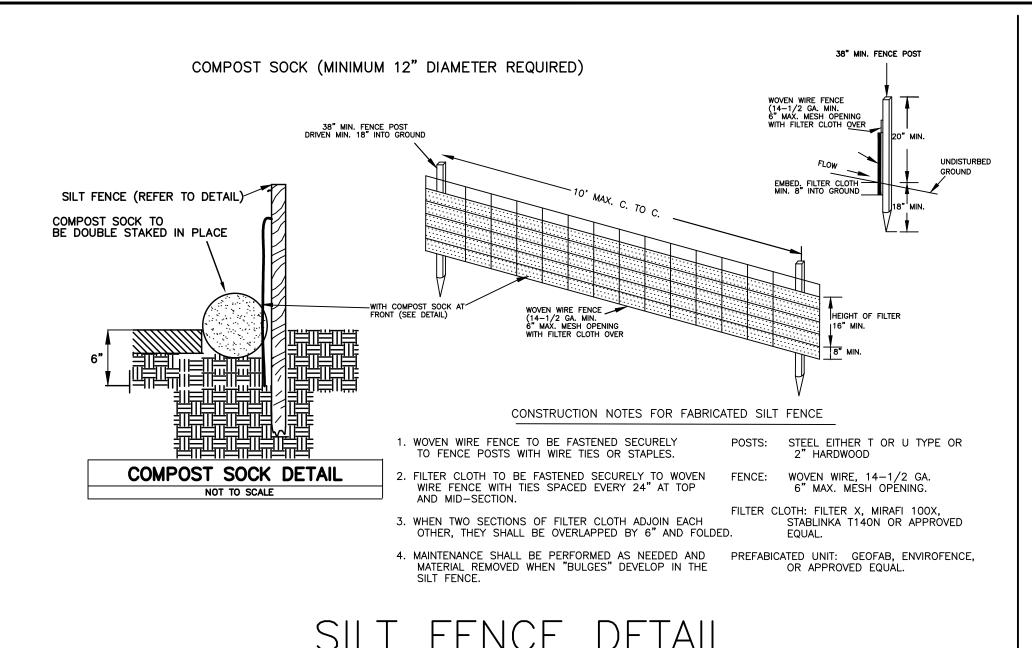


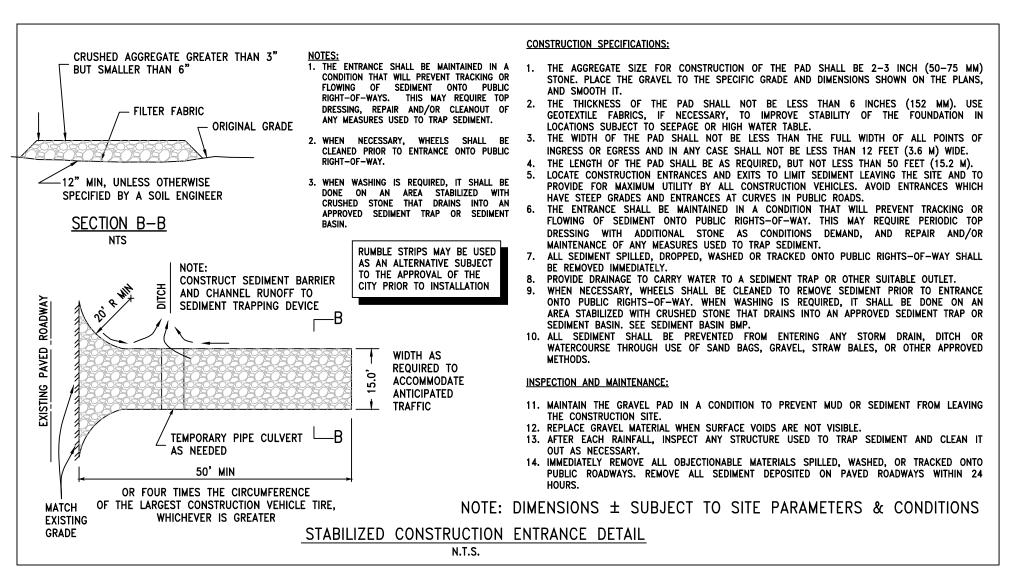


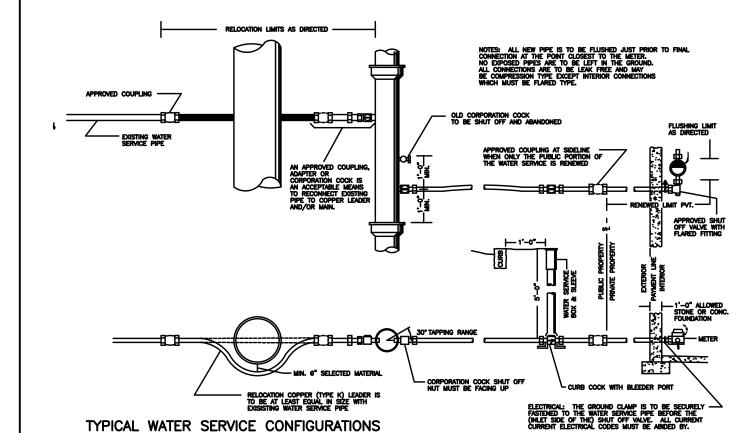
DATE:	12/12/2022
DRAWN BY:	SEAN SPRUHAN
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CIVIL PLAN

SHEET 1 OF 4









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27 PARSONS STREET, NEWTON*MASSACHUSETTS* 

CIVIL PLAN

#### REVISION BLOCK

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DESCRIPTION	DATE

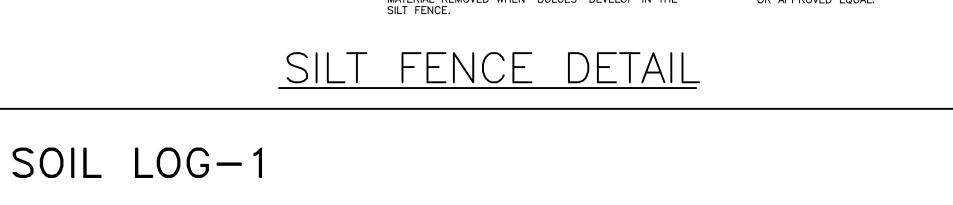
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	DATE:	12/12/2022
	DRAWN BY:	SEAN SPRUHAN
	CHECKED BY:	EDMOND SPRUHAN
	APPROVED BY:	EDMOND SPRUHAN

DETAIL SHEET

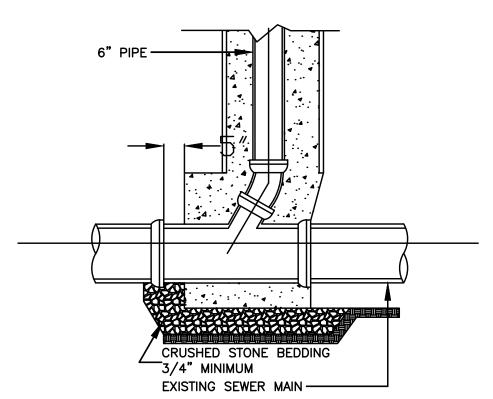
SHEET 2 OF 4

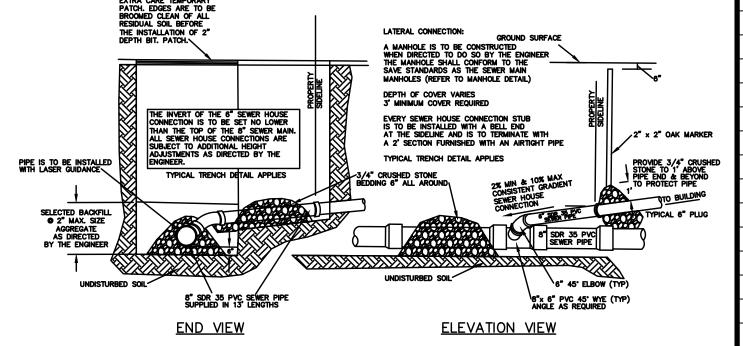


				DEEP O	BSERVA	TION HO	LE LOG				
DEEP OBSERVATION HOLE NUMBER: TP-1 GROUND ELEVATION:											
Depth (in)	Horizon/ Layer	Matrix: Color-Moist	Redoximorphic Features		ures	Texture	Coarse Fragments (Percent by Volume)		Ctructure	Consistence	Other
			Depth (in)	Color	Percent	(USDA)	Gravel	Cobbles & Stones	Structure	(Moist)	Oulei
0-48	FILL										
48-61	А	10 YR 5/3				SANDY LOAM	<5	<5	ABK	VFI	
61-80	Bw	10 YR 3/3				SANDY LOAM	<5	<5	ABK	VFI	
80-91+	C1	GLEY 1 6 5GY	80	5 YR 6	30	CLAY LOAM	<5	<5	ABK	VFI	1

NOTES: 1. REDOX OBSERVED @80"

2. NO STANDING WATER OBSERVED 3. LOGGED BY MATTHEW MUI. SE14259 ON 10/08/2022.





TYPICAL PVC SEWER HOUSE CONNECTION

UNPAVED

LEDGE OR EARTH

NOTE: TRENCHBOX OR SHEETING SHALL MEET OSHA STANDARDS.

\* SUITABILITY OF MATERIAL IS TO BE DETERMINED BY THE CITY OF NEWTON.

WHEN I EDGE IS ENCOUNTERED INCREASE FROM 18" TO 24"

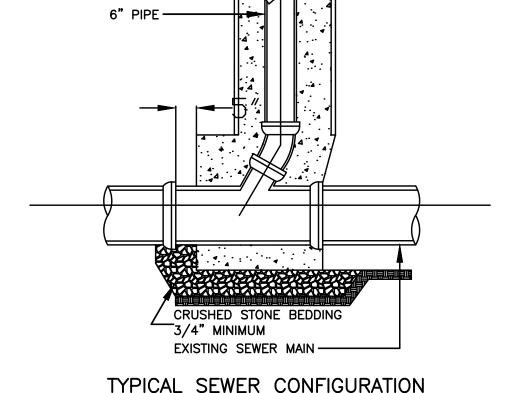
UNSUITABLE MATERIAL \*

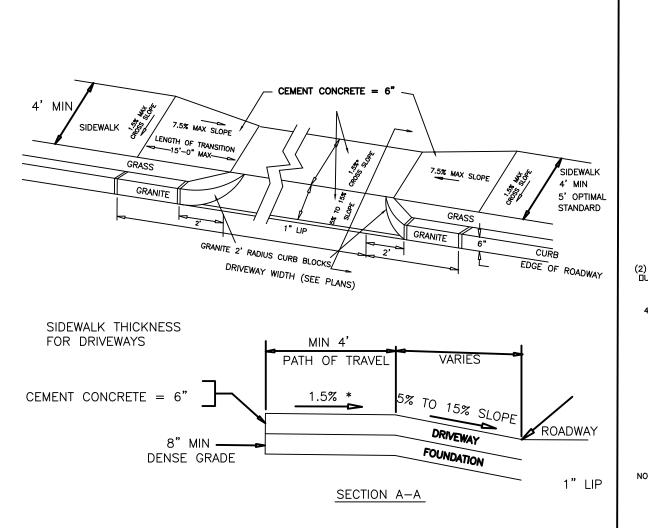
DETAILS FOR SURFACE

\* UNDISTURBED NATURAL MATERIAL

YPE IE (EXCAVATABLE

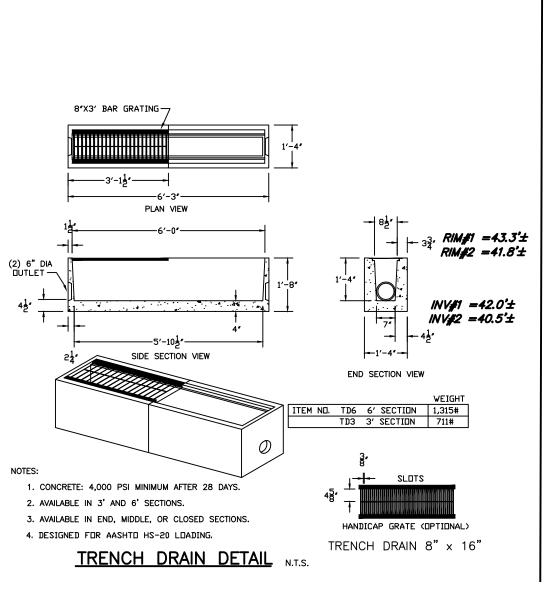
CONTROLLED DENSITY FILLED (C.D.F.)

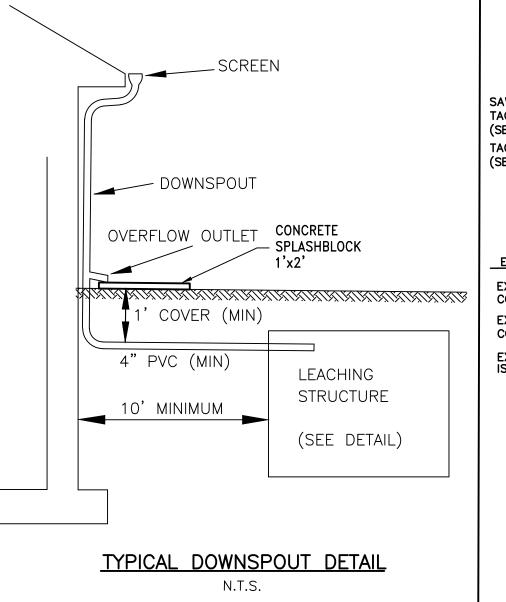


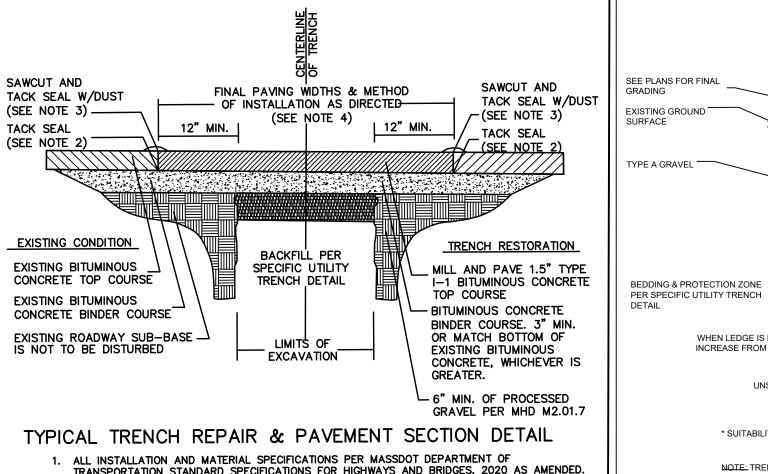


\* TOLERANCE FOR CONSTRUCTION +/- 0.5%

DRIVEWAY APRON WITH CORNER BLOCKS







 ALL INSTALLATION AND MATERIAL SPECIFICATIONS PER MASSDOT DEPARTMENT OF
TRANSPORTATION STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGES, 2020 AS AMENDED.
 ALL EXPOSED BITUMINOUS CONCRETE IS TO BE TACKED PER MASSDOT PRIOR TO
NEW BITUMINOUS CONCRETE INSTALLATIONS. 3. ALL EXPOSED JOINTS ARE TO BE SEALED WITH TACK AND STONE DUST.

4. ANY TOP COURSE APPLIED AT A WIDTH OF 6' WIDE OR GREATER IS TO BE PLACED BY TYPICAL C.D.F. (CONTROL DENSITY FILL) MACHINE/BOX SPREADER WHEN & AS DIRECTED BY THE CITY OF NEWTON.
5. SUPER PAVE FOR PAVEMENT TRENCH SECTION

#### - PERFORATED EQUALISER PVC PIPE -INV=38.7'± PIPEWORK 3" OF PEASTONE Grade=40.0'±41.7'± IACOVER = 12" MIN DRAIN ROCK BOTTOM OF STONE.=37.3' PROPOSED UNDISTURBED MATERIAL **IMPERVIOUS** BARRIER ALONG **SCALE: NOT TO SCALE** <u>ALL SIDES</u> OF STORAGE SYSTEM. FIRESTONE POND **GUARD 45 MIL** EPDM LINE (OR

ROOF & DRIVEWAYS DRAINAGE SYSTEM

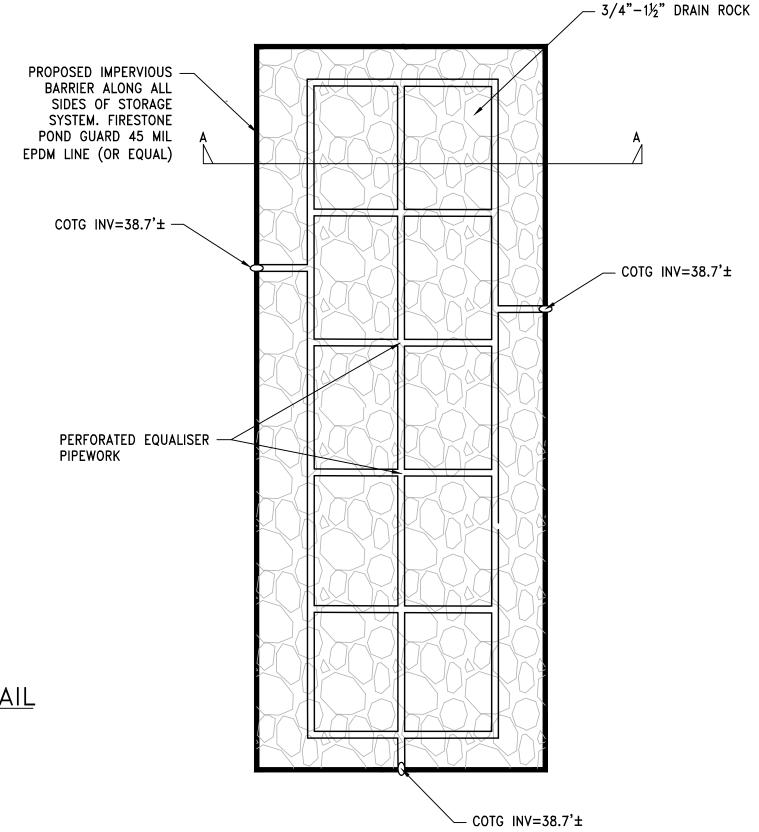
#### DRAINAGE SYSTEM NOTES:

- 1. TOP OF SYSTEM SHALL BE ENCASED IN FILTER FABRIC.
- 2. LOCATION OF SYSTEM PER PLANS.
- 3. DESIGN ENGINEER WILL INSPECT AND CERTIFY IN WRITING THAT ALL DRAINAGE WORK WAS INSTALLED IN ACCORDANCE WITH APPROVED PLANS. CONTRACTOR TO NOTIFY ENGINEER AT LEAST 72 HOURS IN ADVANCE FOR DRAINAGE SYSTEM INSPECTION PRIOR TO BACKFILLING.

PLAN VIEW DRAINAGE SYSTEM DETAIL N.T.S.

PAVING & SUB-BASE

\_ 18" OF DENSE GRADED



 $^{\prime}$ CDF ONLY IN PAVED $^{
m }$ AREAS!

PAVING & SUB-BASE

- CDF (CONTROL DENSITY FI

EXCAVATABLE OR AS
DIRECTED BY THE ENGINEER

TYPE I-E EXCAVATABLE OR

IS TO BE CUT OFF 1 FOOT

WHENEVER SHEETING

HAS PENETRATED INTO

24" OF DENSE GRADED

FOR FINAL GRADING

CDF (CONTROL DENSITY FILL

TYPE I-E EXCAVATABLE OR AS

3 / 4" CRUSHED STONE BEDDING (SEE NOTE 2)

WHEN LEDGE IS ENCOUNTERE

INCREASE FROM 18" TO 24"

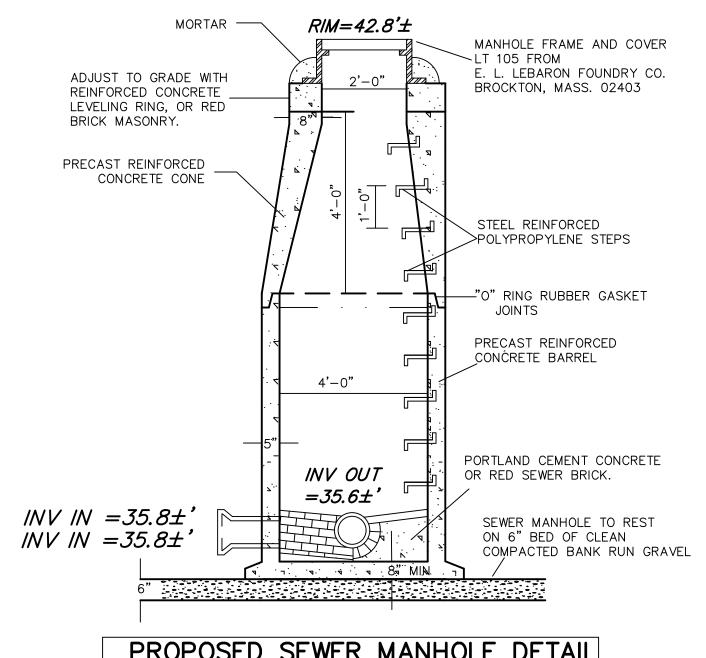
UNSUITABLE MATERIAL \*

\* SUITABILITY OF MATERIAL IS TO BE DETERMINED BY THE CITY OF NEWTON.

1. GRAVEL BORROW SHALL CONFORM TO MASSDOT SPECIFICATION M1 03 0

2. CRUSHED STONE BEDDING SHALL CONFORM TO MASS HIGHWAY SPECIFICATION

TYPE A GRAVEL COMPACTED TO 95% ——
DRY DENSITY (SEE NOTE 1)



PROPOSED SEWER MANHOLE DETAIL (SEWER-MANHOLE) NOT TO SCALE

#### APPROX LOCATION OF GAS LINE CROSSING PROPOSED SEWER MANHOLE LOCATION LOCATION OF DRAIN OF GAS RIM=42.8' LINES LINE CROSSING INV IN =35.8' INV OUT=35.6' FIRST FLOOR ELEVATION APPROX. FINISH BUILDING 44 GRADE APPROX LOCATION OF DRAIN LINES CROSSING PROPOSED SEWER CONNECTIONS TO PROPOSED BUILDING INV=36.5'± INV=36.3'± (V.I.F) SEWER LINE TO BE CONNECTED INV IN=34.1± INV OUT=33.3± SLOPE=4% 0+40 0+20 0+60 PROPOSED SEWER PROFILE $\frac{V \text{ SCALE } = 1"=4'}{H \text{ SCALE } = 1"=20'}$

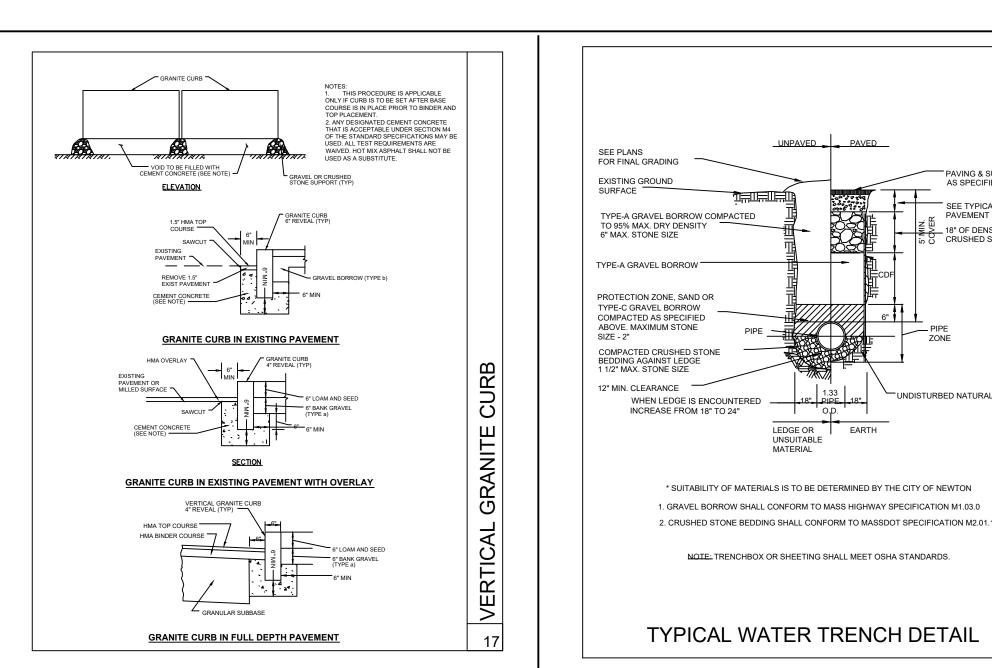
## MIRAFI 140N - CATCH BASIN FILTER FABRIC

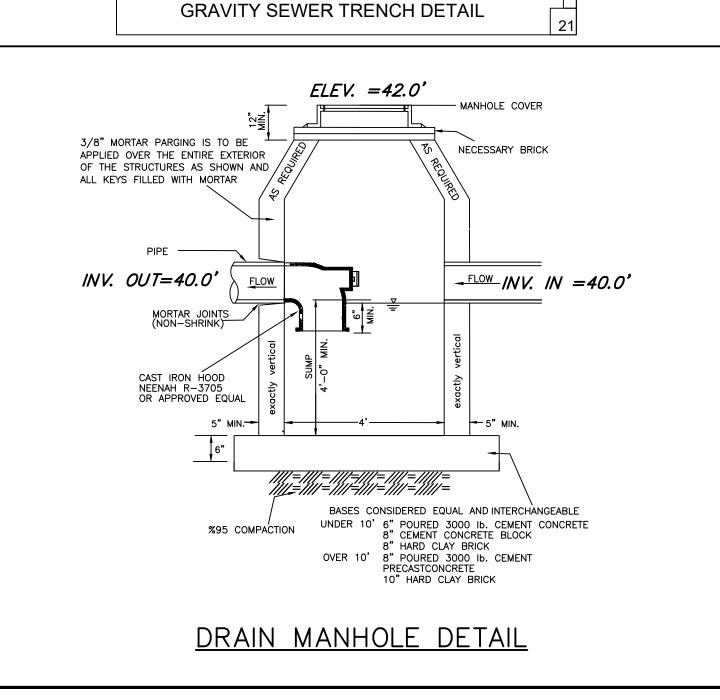
EQUAL)

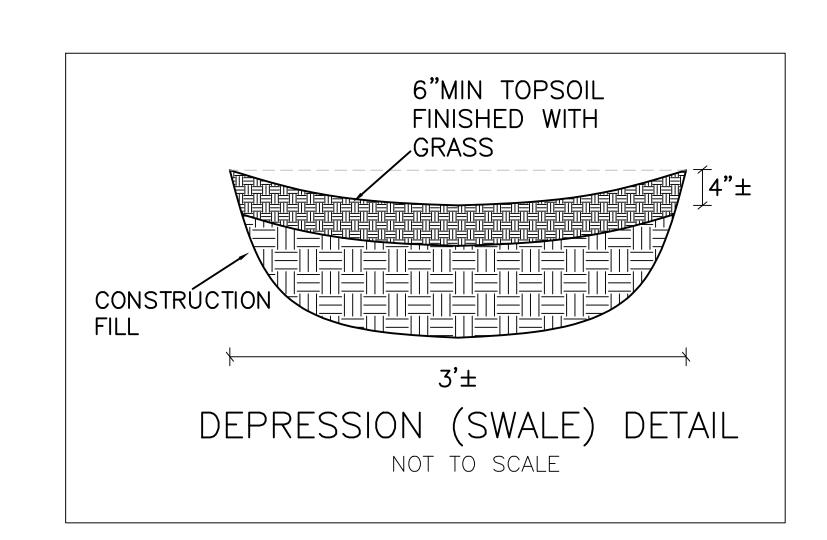
#### **INSPECTION AND MAINTENANCE:**

- 1. FILTER FABRIC BARRIERS SHALL BE INSPECTED WEEKLY AFTER EACH SIGNIFICANT STORM - 1 INCH RAINFALL (25.4 MM) IN 24 HOUR PERIOD. ANY REQUIRED REPAIRS SHALL BE MADE IMMEDIATELY.
- SEDIMENT SHOULD BE REMOVED WHEN IT REACHES 0.5" MAXIMUM HEIGHT. AT THAT TIME INSPECT THE FILTER MATERIAL FOR TEARS AND CLEAN OR REPLACE AS REQUIRED.
- 3. THE REMOVED SEDIMENT SHALL BE DISTRIBUTED EVENLY ACROSS AREAS ON-SITE, CONFORM WITH THE EXISTING GRADE AND BE REVEGETATED OR OTHERWISE STABILIZED PER EROSION CONTROL NOTES.

## CATCH BASIN PROTECTION









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27 PARSONS STREET NEWTON

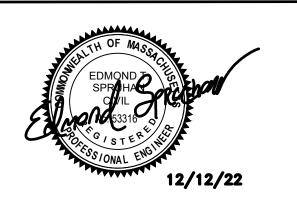
*MASSACHUSETTS* 

CIVIL PLAN

### REVISION BLOCK

BY	DESCRIPTION	DATE
	gal rights including, but i	

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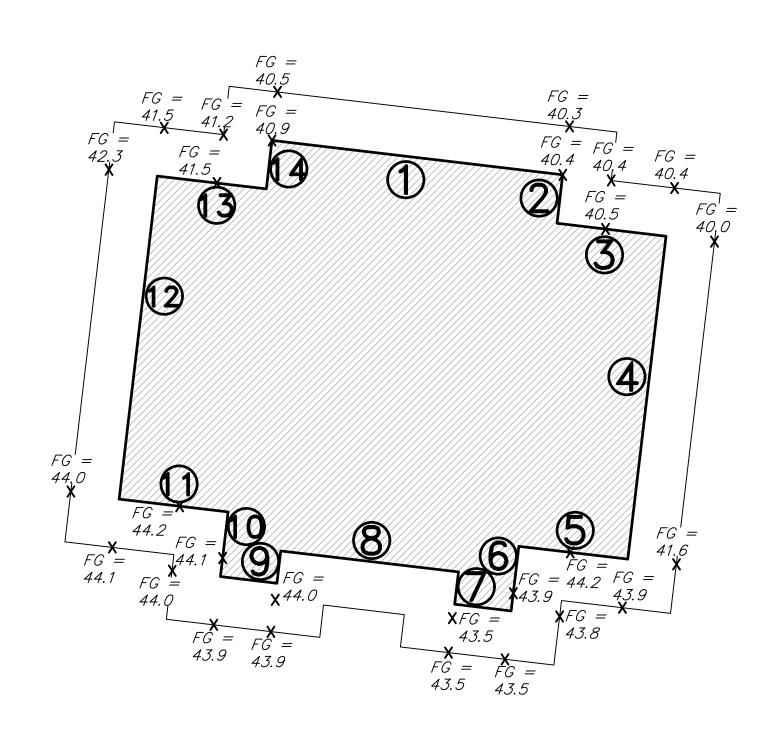
DATE:	12/12/2022
DRAWN BY:	SEAN SPRUHAN
CHECKED BY:	EDMOND SPRUHAN
APPROVED BY:	EDMOND SPRUHAN

DETAILS SHEET

SHEET 3 OF 4

AVERAGE GRADE PLANE (ALL UNITS IN FEET)						
SEGMENT	LEGNTH	POINT 1	POINT 2	MEAN 1 & 2	MEAN x LENGTH	
1	36.00	40.50	40.30	40.40	1,454.40	
2	6.00	40.40	40.50	40.45	242.70	
3	13.50	40.40	40.40	40.40	545.40	
4	40.00	40.00	41.60	40.80	1,632.00	
5	13.50	43.90	43.90	43.90	592.65	
6	8.00	43.80	44.20	44.00	352.00	
7	7.00	43.50	43.50	43.50	304.50	
8	22.00	43.50	44.00	43.75	962.50	
9	7.00	43.90	43.90	43.90	307.30	
10	8.00	44.00	44.20	44.10	352.80	
11	13.50	44.10	44.10	44.10	595.35	
12	40.00	44.00	42.30	43.15	1,726.00	
13	13.50	41.50	40.90	41.20	556.20	
14	6.00	41.20	41.50	41.35	248.10	
SUM = 234.00					9,871.90	
SUM OF MEAN x LENGTH/ SUM OF LENGTHS = AVERAGE GRADE PLANE =					42.19	

## AVERAGE GRADE CALCULATION



AVERAGE GRADE PLANE

#### <u>NOT</u>

1. ELEVATIONS REFER TO CITY OF NEWTON DATUM.

2. THE LOCATIONS AND ELEVATIONS OF ALL EXISTING UTILITIES SHALL BE CONSIDERED APPROXIMATE AND MUST BE VERIFIED BY THE CONTRACTOR PRIOR TO ANY CONSTRUCTION. THE CONTRACTOR SHALL VERIFY THE LOCATIONS OF ANY CROSSINGS OF PROPOSED AND EXISTING UTILITIES.

3. MASSACHUSETTS STATE LAW REQUIRES UTILITY NOTIFICATION AT LEAST THREE BUSINESS DAYS PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL CALL DIG—SAFE AT 1—888—344—7233 IN ORDER TO COMPLY WITH STATE LAW.

4. ALL UTILITY CONSTRUCTION SHALL CONFORM TO THE CITY OF NEWTON GENERAL CONSTRUCTION DETAILS, LATEST EDITION, PREPARED AND ISSUED BY THE NEWTON ENGINEERING DEPARTMENT. COPIES MAY BE OBTAINED AT THE OFFICE OF THE CITY ENGINEER. REFER TO NOTE 29 FOR DETAILS. NOTE: A TRENCH PERMIT MUST BE OBTAINED PRIOR TO ANY EXCAVATION BEING CARRIED OUT.

5. PROPOSED SEWER PIPE SHALL BE 6" PVC SDR 35.6. PROPOSED WATER SERVICE SHALL BE 1" TYPE K COPPER.

- 7. THIS PLAN IS THE RESULT OF AN INSTRUMENT SURVEY DONE ON THE GROUND ON JULY 12TH, 2022.

  8. ALL WORK SHALL BE SUBJECT TO THE INSPECTION BY AND APPROVAL OF THE CITY ENGINEER.

  9. NO EXCAVATION SHALL BE MADE BY THE CONTRACTOR IN ANY PUBLIC WAY OR UTILITY EASEMENT UNLESS AT LEAST FORTY—EIGHT (48) HOURS, EXCLUSIVE OF SATURDAYS, SUNDAYS, AND HOLIDAYS, BEFORE THE PROPOSED EXCAVATION IS TO BE MADE, HE HAS SUBMITTED, NOTICE OF THE PROPOSED EXCAVATION
- a. SUCH PUBLIC UTILITY COMPANIES AS SUPPLY GAS, ELECTRICITY, AND TELEPHONE SERVICE IN THE
- b. SUCH PRIVATE COMPANIES AS PROVIDE CABLE TELEVISION SERVICE IN THE CITY.
   c. CITY OF NEWTON WATER & SEWER DEPARTMENT. SUCH NOTICE SHALL SET FORTH THE STREET NAME AND A REASONABLY ACCURATE DESCRIPTION OF THE LOCATION OF THE EXCAVATION.

10. THE CONTRACTOR SHALL PROVIDE CITY OF NEWTON POLICE OFFICERS FOR THE DIRECTION AND CONTROL OF TRAFFIC, AS REQUIRED BY THE CITY ENGINEER.

11. NO WORK SHALL BE PERFORMED UNTIL THE NECESSARY PERMITS ARE OBTAINED FROM THE CITY OF NEWTON PUBLIC WORKS DEPARTMENT.

12. ALL TRENCHES IN PAVED STREETS SHALL BE TEMPORARILY PATCHED WITH PAVEMENT OF EXISTING PAVEMENT THICKNESS OR AS DIRECTED BY THE CITY ENGINEERING INSPECTOR, LAID HOT AND MAINTAINED UNTIL THE PERMANENT PATCH IS INSTALLED.

13. WARNING SIGNS SHALL CONFORM TO PAGE 66 OF THE CITY OF NEWTON GENERAL CONSTRUCTION

14. ALL TOPSOIL, SUBSOIL OR IMPERVIOUS SOIL MUST BE EXCAVATED AND REMOVED BELOW THE LEACHING SYSTEM AND TO A DISTANCE 5' LATERALLY IN ALL DIRECTIONS BEYOND THE SIDES OF THE GALLEYS.
BACKFILL AS REQUIRED WITH A CLEAN GRANULAR SAND, FREE FROM ORGANIC MATTER AND DELETERIOUS SUBSTANCES. THE SAND SHALL HAVE A PERCOLATION RATE OF 2 MINUTES PER INCH OR FASTER.

15. IN CASES WHERE LEDGE OR BOULDERS ARE ENCOUNTERED, SPRUHAN ENGINEERING, P.C. WILL NOT BE RESPONSIBLE FOR THE AMOUNT OF ROCK ENCOUNTERED.

16. IF ANY PART OF THIS DESIGN IS TO BE ALTERED IN ANY WAY, THE DESIGN ENGINEER, AS WELL AS THE

APPROVING AUTHORITIES, SHALL BE NOTIFIED IN WRITING BEFORE CONSTRUCTION.

17. THE ROOF RUNOFF FROM THE ROOF SURFACES SHALL BE COLLECTED BY GUTTERS AND DIRECTED TO THE STORM WATER DRAINAGE SYSTEM,

18. PRIOR TO AN OCCUPANCY PERMIT BEING ISSUED, AN AS—BUILT PLAN SHOULD BE SUBMITTED TO THE ENGINEERING DIVISION IN BOTH DIGITAL FORMAT AND HARD COPY. THE PLAN SHOULD SHOW ALL UTILITIES AND FINAL GRADES, TIES TO ALL GATES, VALVES, CLEAN—OUTS, CONNECTION POINTS AT MAINS, STRUCTURE

ACCESS/MAINTENANCE COVERS, ANY EASEMENTS AND FINAL GRADING.

19. THE APPLICANT WILL HAVE TO APPLY FOR A STREET OPENING & UTILITIES CONNECTION PERMITS AS WELL AS A SIDEWALK CROSSING PERMIT AND A TRENCH PERMIT WITH THE DPW.

20. THE CONTRACTOR IS RESPONSIBLE FOR NOTIFYING THE DESIGN ENGINEER FOR INSPECTIONS OR

AS-BUILT LOCATIONS. SPRUHAN ENGINEERING PC. WILL NOT PROVIDE AS-BUILT CERTIFICATION TO UNINSPECTED BACKFILLED UTILITIES. A MINIMUM OF 48 HOURS NOTICE IS REQUIRED PRIOR TO INSPECTIONS.

21. ANY PROPOSED PVC PIPES UNDER PAVING OR CONCRETE WITH LESS THAN 30" OF COVER MUST MUST BE ENCASED IN CONCRETE. (SEE PAGE 21, CITY OF NEWTON GENERAL CONSTRUCTION DETAILS.)

22. THE EXISTING WATER & SEWER SERVICES SHALL BE CUT AND CAPPED AT THE MAIN AND BE

COMPLETELY REMOVED FROM THE SITE, REPLACED AS SPECIFIED AND PROPERLY BACKFILLED. THE ENGINEERING DIVISION MUST INSPECT THIS WORK; FAILURE TO HAVE THIS WORK INSPECTED MAY RESULT IN THE DELAY OF ISSUANCE OF THE UTILITY CONNECTION PERMIT.

23. THE CONTRACTOR SHALL NOTIFY THE ENGINEERING DIVISION 48 HOURS IN ADVANCE AND SCHEDULE AN APPOINTMENT TO HAVE THE DRAINAGE SYSTEM, WATER & SEWER SERVICES INSPECTED. THE SYSTEM & UTILITIES MUST BE FULLY EXPOSED FOR THE INSPECTOR. ONCE THE INSPECTOR IS SATISFIED, THE SYSTEM &

24. THE EXISTING CONTOURS OF THE LAND ARE NOT TO BE ALTERED BY MORE THAN THREE (3) FEET AS A RESULT OF THE PLACEMENT OR REMOVAL OF SOD, LOAM, CLAY, GRAVEL OR STONE, OR OTHER SOLID MATERIAL UNLESS A PROPOSED RETAINING WALL OR SWALE IS INSTALLED AFTER IT IS APPROVED BY BOTH CITY OF NEWTON ENGINEERING DEPARTMENT & CITY OF NEWTON I.S.D

25. NO WORK IS ALLOWED WITHIN A CITY OF NEWTON RIGHT-OF-WAY BETWEEN NOVEMBER 15TH AND APRIL 15TH. IF AN EMERGENCY EXISTS OR THERE ARE EXTENUATING CIRCUMSTANCES, APPLICANT MAY REQUEST PERMISSION FROM THE CITY ENGINEER. IF ALLOWED, SPECIAL CONSTRUCTION REQUIREMENTS WILL BE REQUIRED, AND AS SUCH IT IS RECOMMENDED THAT THE APPLICANT OR APPLICANT'S REPRESENTATIVE CONTACT THE CITY OF NEWTON ENGINEERING DEPARTMENT PRIOR TO START OF WORK FOR CLARIFICATION.

27. DURING CONSTRUCTION, THE EROSION CONTROL MEASURES SHALL BE INSPECTED ONCE PER WEEK AND WITHIN 24 HOURS OF ANY STORM EVENT GENERATING MORE THAN 1/2" OF RAINFALL. THE EROSION CONTROL MEASURES SHALL BE CLEANED REGULARLY AND ADJUSTED IF NECESSARY TO ENSURE THAT NO

26. AT THE END OF CONSTRUCTION, ALL DRAINAGE STRUCTURES ARE TO BE CLEANED OF SILT, STONES AND

28. WITH EXCEPTION OF GAS UTILITY SERVICES, ALL UTILITY TRENCHES WITHIN ANY CITY OF NEWTON RIGHT-OF-WAY WILL BE BACKFILLED WITH TYPE IE (EXCAVATABLE) CONTROLLED DENSITY FILL, AS SPECIFIED BY THE CITY OF NEWTON ENGINEERING SPECIFICATIONS.

29. ALL CONSTRUCTION ACTIVITIES WITHIN THE CITY OF NEWTON RIGHT-OF-WAY MUST FULLY COMPLY WITH ALL OF CITY OF NEWTON CONSTRUCTION SPECIFICATIONS AS WELL AS 521 CMR 21.00 AND 22.00.

30. ALL NEW SEWER SERVICE AND/OR STRUCTURES SHALL BE PRESSURE TESTED OR VIDEOTAPED AFTER FINAL INSTALLATION IS COMPLETE. METHOD OF FINAL INSPECTION SHALL BE DETERMINED SOLELY BY THE CONSTRUCTION INSPECTOR FROM THE CITY ENGINEERING DIVISION. ALL SEWER MANHOLES SHALL BE VACUUM TESTED IN ACCORDANCE TO THE CITY'S CONSTRUCTION STANDARDS & SPECIFICATIONS. THE SEWER SERVICE WILL NOT BE ACCEPTED UNTIL ONE OF THE TWO METHODS STATED ABOVE IS COMPLETED. ALL TESTING MUST BE WITHNESSED BY A REPRESENTATIVE OF THE ENGINEERING DIVISION, A CERTIFICATE OF OCCUPANCY WILL NOT BE RECOMMENDED UNTIL THIS TEST IS COMPLETED AND A WRITTEN REPORT IS

RECEIVED BY THE CITY ENGINEER.

31. ALL SILTATION CONTROL NEEDS TO BE INSTALLED PRIOR TO ANY CONSTRUCTION. THE CONTRACTOR SHALL CONTACT THE CITY ENGINEER'S OFFICE FOR APPROVAL PRIOR TO COMMENCEMENT.

32. ALL TRENCH EXCAVATION CONTRACTORS SHALL COMPLY WITH MGL CHAPTER 82A, TRENCH EXCAVATION SAFETY REQUIREMENTS, TO PROTECT THE GENERAL PUBLIC FROM UNAUTHORIZED ACCESS TO UNATTENDED TRENCHES. A TRENCH EXCAVATION PERMIT IS REQUIRED.

33. APPROVAL OF THIS PLAN BY CITY OF NEWTON ENGINEERING DIVISION IMPLIES THAT THE PLAN MEETS

33. APPROVAL OF THIS PLAN BY CITY OF NEWTON ENGINEERING DIVISION IMPLIES THAT THE PLAN MEETS THE MINIMAL DESIGN STANDARDS OF THE CITY OF NEWTON. HOWEVER, THE ENGINEERING DIVISION MAKES NO REPRESENTATION AND ASSUMES NO RESPONSIBILITY FOR THE DESIGN(S) IN TERMS OF SUITABILITY FOR THE PARTICULAR SITE CONDITIONS OR OF THE FUNCTIONABILITY OR PERFORMANCE OF ANY ITEMS CONSTRUCTED IN ACCORDANCE WITH THE DESIGN(S). THE CITY OF NEWTON ASSUMES NO LIABILITIES FOR DESIGN ASSUMPTION, ERRORS OR OMISSIONS BY THE ENGINEER OF RECORD.

34. PER CITY OF NEWTON ORDINANCE NO.B-42, COUNCIL ITEM #251-19, BUILDING SEWER, WATER SERVICE PIPE & SIDEWALK/CURB REPLACEMENT ORDINANCE. THE APPLICANT IS REQUIRED TO INSTALL/REPLACE SIDEWALK & CURB ALONG THE ENTIRE FRONTAGE. THIS SHALL INCLUDE APPROPRIATE TRANSITION TO ADJOINING CURBING & WALKWAYS, INCLUDING ACCESSIBLE CURB CUTS & OTHER ACCESS AS REQUIRED. THE ENGINEERING CONSTRUCTION INSPECTOR MAKES A DETERMINATION, BASED ON THE MATERIAL & MANNER OF CONSTRUCTION OF THE EXISTING SIDEWALK & CURB, THAT THE EXISTING SIDEWALK & CURB HAS THE ABILITY TO BE RE-SET OR REUSED WITHOUT REPLACEMENT.

35. THE ENGINEER OF RECORD IS RESPONSIBLE FOR THE ON-SITE INSPECTION(S) OF ALL SUBSURFACE STRUCTURES. THIS INCLUDES BUT IS NOT LIMITED TO DRAINAGE, UTILITIES (INCLUDING SEWER PIPE SLOPE), ROOF LEADER COLLECTION SYSTEM, TRENCH DRAINS, MANHOLES ETC. ENGINEER OF RECORD MUST ALSO CONDUCT "BOTTOM OF HOLE" INSPECTION(S) PRIOR TO SUBSURFACE DRAINAGE SYSTEM(S) BEING INSTALLED. CONTRACTOR TO NOTIFY ENGINEER BEFORE BACKFILL OR SIGN OFF CANNOT OCCUR WITHOUT RE—EXCAVATION.

36. PRIOR TO THE ENGINEERING DIVISION RECOMMENDING THAT A CERTIFICATE OF OCCUPANCY BE ISSUED, AN AS—BUILT PLAN MUST BE SUBMITTED. THE AS—BUILT PLAN MUST SHOW DIMENSIONAL TIES FROM FIXED POINTS (FOUNDATION CORNERS) TO ALL SUBSURFACE COMPONENTS AS WELL AS FINAL GRADING. THE AS—BUILT PLAN MUST BE STAMPED, SIGNED & DATED BY THE ENGINEER OF RECORD. THE FOLLOWING STATEMENT MUST BE ON ALL AS—BUILT PLANS SUBMITTED TO THE ENGINEERING DIVISION: I CERTIFY THAT THE CONSTRUCTION SO SHOWN WAS INSPECTED PRIOR TO BACKFILL & THAT ALL WORK CONFORMS WITH THE APPROVED PLAN & MEETS OR EXCEEDS THE CITY OF NEWTON CONSTRUCTION

SIGNATURE: DATE

37. 5 YEAR MORATORIUM — IF AT TIME OF CONSTRUCTION THE ROADWAY IS UNDER A 5 YEAR MORATORIUM, THE ROADWAY MUST BE MILLED & PAVED GUTTER—TO—GUTTER FOR A DISTANCE OF 25 FEET IN EACH DIRECTION FROM THE OUTERMOST TRENCHES OR AS DIRECTED BY THE ENGINEERING

NOTE:
IT IS THE GENERAL CONTRACTORS RESPONSIBILITY TO
CONTACT THE ENGINEER OF RECORD FOR ALL
INSPECTIONS OUTLINED IN NOTE 35 ON THIS PLAN



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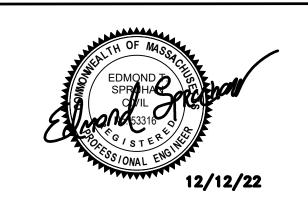
*MASSACHUSETTS* 

CIVIL PLAN

REVISION BLOCK

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DATE: 12/12/2022

DRAWN BY: SEAN SPRUHAN

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DETAILS SHEET

SHEET 4 OF 4