

Servais Residence

4 Garrison Street
Newton, MA 02467



PROJECT NARRATIVE

DEMOLITION OF AN EXISTING GARAGE AND FAMILY ROOM TO MAKE WAY FOR A NEW TWO CAR GARAGE AND LARGER FAMILY ROOM WITH A BATHROOM AND CLOSET.

CLIENT

Servais Residence
4 Garrison Street
Newton, MA 02467

DESIGNER / GENERAL CONTRACTOR



1 ARROW DRIVE, WOBURN, MA 01801



PERMIT SET 11/9/2022

SHEET LIST

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LOCATION PLAN



DRAWINGS AND SPECIFICATIONS ARE INTENDED TO PROVIDE THE BASIS FOR THE PROPER COMPLETION OF THE PROJECT SUITABLE FOR THE INTENDED USE OF THE OWNER. ITEMS NOT EXPRESSLY SET FORTH BUT WHICH ARE REASONABLY IMPLIED OR NECESSARY FOR THE PROPER PERFORMANCE OF THIS WORK SHALL BE INCLUDED.

COMPLY WITH APPLICABLE CODES, REGULATIONS, ORDINANCES AND REQUIREMENTS OF AUTHORITIES HAVING JURISDICTION, INCLUDING ACCESSIBILITY GUIDELINES WHERE APPLICABLE. SUBMIT COPIES OF INSPECTION REPORTS, NOTICES AND SIMILAR DOCUMENTS TO ARCHITECT. PLANS ARE BASED ON MASSACHUSETTS RESIDENTIAL BUILDING CODE 9TH EDITION & CURRENT MAAB (2006 EDITION).

THE CONTRACTOR, SUBCONTRACTORS, AND MATERIAL SUPPLIERS SHALL REFER TO THE DRAWINGS, SCHEDULES AND SPECIFICATIONS AS A WHOLE WHEN DETERMINING THE CONSTRUCTION REQUIREMENTS FOR THE PROJECT.

PROVIDE PRODUCTS AND MATERIALS SPECIFIED. REQUEST OWNER'S/ARCHITECT'S SELECTION OF COLORS AND ACCESSORIES IN SUFFICIENT TIME TO AVOID DELAYING PROGRESS OF THE WORK.

THE CONTRACTOR IS RESPONSIBLE FOR IDENTIFYING ALL AREAS ON THE PROJECT WHICH REQUIRE TOLERANCES BETWEEN ROUGH OPENINGS AND/OR FINISH MATERIALS AND PROVIDE FOR THE PROPER TOLERANCES TO COMPLETE THE CONSTRUCTION IN ACCORDANCE WITH THE REQUIREMENTS OF THE CONTRACT DOCUMENTS.

ALL DRAWINGS, SCHEDULES AND SPECIFICATIONS IN THE BID PACKAGE ARE TO BE CONSIDERED EQUAL PARTS OF THIS CONTRACT PACKAGE. THE CONTRACTOR AND SUBCONTRACTORS SHALL BE RESPONSIBLE FOR THE REVIEW AND COORDINATION OF ALL DRAWINGS, SCHEDULES AND SPECIFICATIONS. ALL DISCREPANCIES, OMISSIONS OR ERRORS THAT OCCUR SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT IN WRITING PRIOR TO THE SUBMISSION OF BIDS SO THAT CLARIFICATION MAY BE ISSUED.

ANY WORK PERFORMED IN CONFLICT WITH ANY PART OF THE CONTRACT DOCUMENTS OR ANY CODE REQUIREMENT SHALL BE CORRECTED BY THE CONTRACTOR AT THEIR OWN EXPENSE AND AT NO EXPENSE TO THE OWNER OR ARCHITECT.

THE CONTRACTOR AND SUBCONTRACTORS SHALL BE RESPONSIBLE FOR COORDINATION OF THEIR WORK WITH THE WORK OF OTHER TRADES. SUBCONTRACTORS SHALL VERIFY THAT ANY WORK RELATED TO THEM, WHICH MUST BE PROVIDED BY OTHERS HAS BEEN COMPLETED AND IS ADEQUATE PRIOR TO COMMENCING THEIR WORK.

ALL DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALE SHOWN ON PLANS, SECTIONS AND DETAILS. DIMENSIONS ARE TO FACE OF FINISH UNLESS NOTED OTHERWISE ON DRAWINGS. DO NOT SCALE DRAWINGS. NOTIFY THE ARCHITECT/ENGINEER OF ANY DISCREPANCIES AND DO NOT PROCEED WITHOUT INSTRUCTIONS/CLARIFICATION.

THE CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS AND REPORT ANY DISCREPANCIES TO THE ARCHITECT/ENGINEER.

VERIFY ALL SITE CONDITIONS PRIOR TO COMMENCING CONSTRUCTION.

THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR JOB SITE SAFETY OF ITS EMPLOYEES AND OTHER PERSONS IN THE CONSTRUCTION AREA, AS WELL AS FOR THE PROTECTION OF THE SAFETY OF THE IMPROVEMENTS BEING ERRECTED AND THE PROPERTY OF THE CONTRACTOR AND/OR OTHER PERSONS, AS A RESULT OF OPERATIONS HEREUNDER.

THE CONTRACTOR SHALL BE FULLY AND COMPLETELY LIABLE AT HIS OWN EXPENSE FOR DESIGN, CONSTRUCTION, INSTALLATION AND USE OR NON-USE OF ALL ITEMS AND METHODS INCIDENT TO PERFORMANCE OF EITHER PERSON OR PROPERTY, INCLUDING WITHOUT LIMITATION THE ADEQUACY OF ALL TEMPORARY SUPPORTS, SHORING, BRACING, SCAFFOLDING, MACHINERY OR EQUIPMENT, SAFETY PRECAUTIONS OR DEVICES, AND SIMILAR ITEMS OR DEVICES USED DURING CONSTRUCTION.

THE CONTRACTOR SHALL FURNISH ALL MATERIALS, LABOR, AND EQUIPMENT NECESSARY TO PROPERLY COMPLETE THE WORK, INCLUDING ITEMS NOT SPECIFICALLY SET FORTH IN THE CONSTRUCTION DOCUMENTS BUT REASONABLY INFERRED.

THE CONTRACTOR SHALL COORDINATE ALL WORK WITH THE OWNER OR WITH THE OWNER'S REPRESENTATIVE. THE CONTRACTOR SHALL OBTAIN AND BE RESPONSIBLE FOR ALL FEES, PERMITS, AND INSPECTIONS REQUIRED AND ASSOCIATED WITH ALL PHASES OF THE WORK.

ALL ITEMS TO BE REMOVED SHALL BECOME PROPERTY OF THE CONTRACTOR AND SHALL BE REMOVED ENTIRELY FROM THE PROJECT SITE, UNLESS NOTED OTHERWISE. RETURN ITEMS IDENTIFIED FOR SALVAGE OR REUSE TO THE OWNER/PROPERTY MANAGER.

THE DRAWINGS ARE NOT INTENDED FOR USE AS SHOP OR ERECTION DRAWINGS.

CONTRACTOR TO PHASE ALL WORK SUCH THAT THE OCCUPIED PORTIONS OF THE BUILDING ARE SAFE & AVAILABLE THROUGHOUT CONSTRUCTION.

CONTRACTOR TO PROVIDE TEMPORARY BARRIERS AT ALL FLOOR PENETRATIONS TO PREVENT PHYSICAL BODILY DAMAGE.

CONTRACTOR TO PROVIDE A CLEAN JOB SITE FREE FROM DEBRIS THROUGHOUT CONSTRUCTION AT ALL FLOORS.

CONTRACTOR REQUIRED TO LOCATE ALL STRUCTURAL, MECHANICAL, ELECTRICAL, PLUMBING & FIRE PROTECTION COMPONENTS AND CLEAR SPACE PRIOR TO WORK.

VERIFY STAGING AREA, PARKING AVAILABILITY, AND RULES FOR USE WITH PROPERTY OWNER.

MAINTAIN PROPER EMERGENCY EGRESS AND FIRE ALARM SYSTEMS THROUGHOUT DEMOLITION AND RENOVATION.

PROTECT EXISTING FINISHES, COMPONENTS, & STRUCTURE NOT SCHEDULED FOR RENOVATION, REMOVAL, OR ALTERATION. REPAIR AND SUCH MATERIALS, FINISHES, OR COMPONENTS DAMAGED DURING EXECUTION OF THIS PROJECT.

PATCH, PREP AND PAINT ALL WALLS THROUGHOUT WORK AREA.

VERIFY & PROTECT EXISTING SUBSURFACE, SURFACE, VISIBLE, & HIDDEN UTILITIES THROUGHOUT DEMO & RENOVATION AREAS. KEY ALL NEW LOCKS TO BUILDING STANDARD MASTER KEY SYSTEM; VERIFY W/ OWNER.

GENERAL

- Structural work shall conform to the requirements of "The Commonwealth of Massachusetts State Building Code" 9th Edition. Use double joists under all partitions.
- Examine architectural, mechanical, plumbing and electrical drawings for verification of location and dimensions of chases, inserts, openings, sleeves, washes, drips, reveals, depressions and other project requirements not shown on structural drawings.
- Verify and coordinate dimensions related to this project.
- Typical details and notes shown on structural drawings shall be applicable to all parts of the structural work except where specifically required otherwise by contract documents.

FOUNDATIONS

- Foundations for this project consist of a new slab. The allowable bearing pressure is assumed to be 2.0 tons per square foot. The contractor is to verify suitability of soils and notify the Architect/Engineer if conditions are not as assumed.
- No responsibility is assumed by the architect/engineer for the validity of the subsurface conditions described on the drawings, specifications, test borings or test pits. These data are included only to assist the contractor during bidding and subsequent construction and represent conditions only at these specific locations at the particular time they were made.
- Foundation units shall be centered under supported structural members, unless noted otherwise on the drawings.
- Carry out continuous control of surface and subsurface water during construction such that foundation work is done in dry and on undisturbed subgrade material as applicable.

CONCRETE

- Concrete work shall conform to "Building Code Requirements for Reinforced Concrete" (ACI 318-14), and "Specifications for Structural Concrete for Buildings" (ACI 301-14).
- Unless noted otherwise, concrete shall have a minimum 28 day compressive strength of 4,000 psi normalweight.
- Concrete to be exposed to the weather in the finished project shall be air.

STRUCTURAL TIMBER CONSTRUCTION

- Timber construction shall conform to Part II "Design" as published in the "Timber Construction Manual" (AITC 6th Edition) and to "National Design Specification for Wood Construction" (N.F.P.A. 2012 Edition).
- New timber for structural use shall have a moisture content as specified in the "National Design Specification for Wood Construction" (N.F.P.A. 2012 Edition).
- Timber construction shall conform to Article 23 of IBC 2015.
- Material properties for timber shall conform to the following:
 - For members with nominal 2" thickness. S-P-F #1/#2 or better (15% max MC).
Allowable bending stress: Fb = 875 PSI (single member use)
Fb = 1000 PSI (multiple member use) Allowable shear stress Fv = 135 PSI Compression parallel to grain = 1100 PSI Compression perpendicular to grain = 425 PSI Modulus of elasticity = 1,400,000 PSI
 - For pressure-treated members with nominal 2" thickness, Southern Pine #1 or better (19% max MC).
Allowable bending stress Fb = 1300 PSI Allowable shear stress Fv = 90 PSI Compression parallel to grain = 1550 PSI Compression perpendicular to grain = 565 PSI Modulus of elasticity = 1,500,000 PSI
 - For pressure-treated members with nominal 4" thickness and greater, Southern Pine #2 pressure-treated (19% max MC).
Allowable bending stress Fb = 1250 PSI Allowable shear stress Fv = 95 PSI Compression parallel to grain = 725 PSI Compression perpendicular to grain = 440 PSI Modulus of elasticity = 1,400,000 PSI
- "PT" indicates pressure-treated lumber (to be used when in contact with concrete, masonry or weather).
- Joist support by nailing is forbidden unless used with an approved hanger. Unless noted otherwise on plans, all flush framed joists and beams shall be framed with Simpson hangers as follows (or approved equals):

(A) 2x6; 2x8	Type 'U26'
(B) 2-2x6; 2-2x8	Type 'U26-2'
(C) 3-2x6; 3-2x8	Type 'U26-3'
(D) 2x10; 2x12	Type 'U210'
(E) 2-2x10; 2-2x12	Type 'U210-2'
(F) 3-2x10; 3-2x12	Type 'U210-3'
(G) 3-1/2" x 9-1/4" LVL	Type 'GLTV3.56/9.25'
(H) 5-1/4" x 9-1/4" LVL	Type 'GLTV5.550/9.25'

 (It is the contractor's responsibility to determine correct hangers for all sloped and/or skewed conditions. Custom hangers may be required at ridge/valley connections-submit to engineer for review.)

- Minimum bearing for all joists and rafters shall be 4".
- Use double joists under all partitions.
- Interior walls indicated on plans shall be framed with 2x4's at 16" O.C. (see arch drawings).
- New exterior walls indicated on plans shall be framed with 2x6's at 16" O.C. with 1/2" plywood sheathing nailed to studs with 10d nails at 4" O.C. at panel edges and 12" O.C. in field.
- Interior door headers shall be a minimum of 2-2x8's unless noted otherwise on the plans.
- Exterior door and window headers shall be a minimum of 2-2x10's unless noted otherwise on the plans.
- No joist shall be notched or drilled with holes without the specific approval of the architect.
- No joist shall be repaired or reinforced in any way without the specific approval of the architect.
- Beams built up of timbers shall be firmly nailed or bolted together.
- Plywood shall be laid with face grain parallel to span; stagger all joints.
- Temporary erection bracing shall be provided to hold structural timber securely in position as described on the drawings. It shall not be removed until permanent bracing has been installed.
- Timber shall be generally knot-free, with only small tight knots permitted and generally straight-grained.
- Structural timber shall be identified by the grade mark or certificate of inspection issued by a grading or inspection bureau or agency recognized as being competent.
- Structural timber shall be visually stress-graded lumber in accordance with the provisions of ASTM designation D245-74, "Methods for Establishing Structural Grades and Related Allowable Properties for Visually Graded Lumber".
- Timber shall be so handled and covered as to prevent marring and moisture absorption from snow and rain.
- Steel plates and angles shall be new steel conforming to ASTM A36.

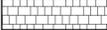
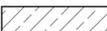
RENOVATION AND RESTORATION

- The contractor shall notify the architect when, in the course of construction or demolition, conditions are uncovered which are unanticipated or otherwise appear to present a dangerous condition. Information regarding existing construction or conditions is based on available record drawings which may or may not truly reflect existing conditions. Such information is included on assumption that it may be of interest to the contractor, but the architect assumes no responsibility for its accuracy or completeness.
- Verify all dimensions and conditions on the job. Discrepancies shall be brought immediately to the attention of the architect before proceeding with that part of the work.
- Where new work will be adjacent to or framing existing construction, verify dimensions of existing construction prior to fabrication of new members.
- Provide all labor and material for any framing required to connect new framing to existing construction. Wherever it is necessary to remove existing construction in order to construct new work, the affected area shall be patched and rebuilt to match existing adjacent work to satisfaction of the architect.
- Details shown on any drawings shall be considered typical for all similar conditions.
- Notify architect of any contemplated structural alteration in reasonable time to render and document the architect's decision. Structural materials and components shall have prior approval of the architect.
- Structural alteration shall be preceded by adequate shoring and bracing.
- Screw-type shoring posts shall be provided for existing work during the removal of existing bearing walls and structural members and the installation of new structural work.
- Temporary shores shall be placed as close as practicable to the existing structural work being removed.
- Headers shall be placed across top of shoring posts and shall be snug tight against underside of the structure above.
- Shoring shall bear on sleepers to prevent damage to the structural below.
- Temporary shores shall be individually designed, erected, supported, braced and maintained by the contractor to safely support all dead loads presently carried by the existing structural work being removed and any construction live loads.
- Structural steel shall be completely installed before removing any shores.
- Shores shall be released gradually and left loosely in place for at least 2 days to allow for structural shake out.

STRUCTURAL DESIGN LOADS

- Dead loads
 - Weight of building components
- Live Loads
 - Typical Residential Floor - 40 PSF
 - Roof snow load - 45 PSF plus drift
Pg = 40 PSF; Is = 1.0; Ce = 1.0; Ct = 1.0;
- Wind loads - Per Mass. Code and ASCE7-10

MATERIALS KEY

	EARTH		SHINGLES (ELEVATION)
	GRAVEL		CLAPBOARD (ELEVATION)
	CAST CONCRETE		GYPSUM WALL BOARD
	SOLID WOOD		CMU MASONRY
	PLYWOOD		ARCHITECTURAL STONEMWORK
	RIGID INSULATION		ARCHITECTURAL STONEMWORK (ELEVATION)
	SPRAY INSULATION - HIGH DENSITY		METAL
	INSULATION - ACOUSTIC		

SYMBOLS

	LEVEL EL: #		ELEVATION MARKER		ROOM NAME		ROOM MARKER
	101		DOOR REFERENCE NUMBER		101		WINDOW REFERENCE NUMBER
	# SHT		INTERIOR ELEVATION REFERENCE		# SHT		SECTION CALL OUT
	# SHT		EXTERIOR ELEVATION REFERENCE		NORTH ARROW		# SHT
	X.X		STRUCTURAL GRID LINE		# SHT		DETAIL REFERENCE
	ELEVATION CALL OUT		PARTITION REFERENCE		M-01		CASEWORK REFERENCE
	KEYNOTE REFERENCE						

ABBREVIATIONS

AFB	ABOVE FINISH FLOOR	OC	ON CENTER
CIP	CAST-IN-PLACE CONCRETE	PCF	POUND PER CUBIC FOOT
CONC	CONCRETE	PLAM	PLASTIC LAMINATE
DIA	DIAMETER	PT	PRESERVATIVE TREATED
DN	DOWN	PVC	POLYVINYL CHLORIDE
EXIST	EXISTING	R	RISER
		RO	ROUGH OPENING
FIN	FINISH	SF	SQUARE FOOT
FLR	FLOOR	SHT	SHEET
FT	FOOT	SIM	SIMILAR
		SPEC	SPECIFICATIONS
GC	GENERAL CONTRACTOR	T	TREAD
GWB	GYPSUM WALL BOARD	T&G	TONGUE AND GROOVE
		TYP	TYPICAL
HP	HIGH POINT		
IN	INCH	VCT	VINYL COMPOSITION TILE
		VIF	VERIFY IN FIELD
MAX	MAXIMUM		
MDF	MEDIUM DENSITY FIBERBOARD	W/	WITH
MDO	MEDIUM DENSITY OVERLAY	W/O	WITHOUT
MIN	MINIMUM		
MISC	MISCELLANEOUS	&	AND
MO	MASONRY OPENING	@	AT
		#	NUMBER
		⊕	CENTERLINE
NTS	NOT TO SCALE		

Servais Residence

4 Garrison Street
Newton, MA 02467



ISSUANCE:
PERMIT SET

REVISION:

DATE: 11/9/2022

SCALE: 1/4" = 1'-0"

DRAWN:

CHECKED:

SHEET INFO:

NOTES

G101

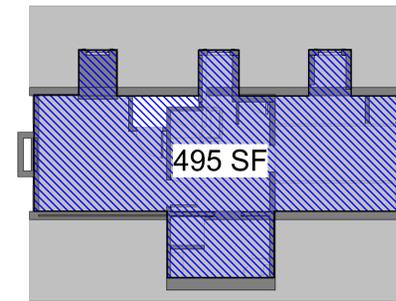
FLOOR AREA RATIO WORKSHEET

For Residential Single and Two Family Structures

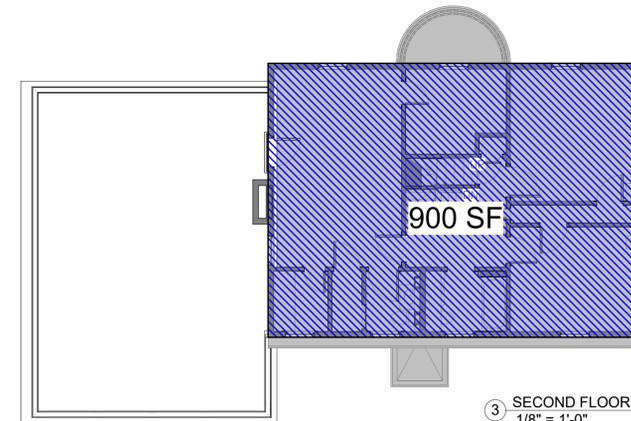
Property address: 4 GARRISON STREET

Zoning District: MR1 Lot Size: 9780

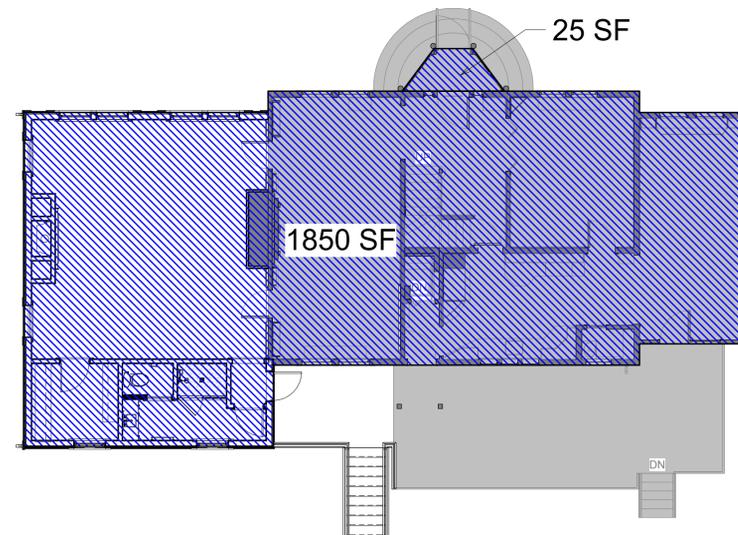
FAR Calculations for Regulations Effective As Of October 15, 2011	
Inputs (square feet)	
1. First story	1850
2. Attached garage	705
3. Second story	900
4. Atria, open wells, and other vertical spaces (if not counted in first/second story)	0
5. Certain floor area above the second story ^{1b}	495
6. Enclosed porches ^{2b}	25
7. Mass below first story ^{3b}	900
8. Detached garage	0
9. Area above detached garages with a ceiling height of 7' or greater	0
10. Other detached accessory buildings (one detached building up to 120 sq. ft. is exempt)	0
FAR of Proposed Structure(s)	
A. Total gross floor area (sum of rows 1-9 above)	4875
B. Lot size	9780
C. FAR = A/B	.50
Allowed FAR	
Allowable FAR	.48
Bonus of .02 if eligible ^{4b}	0
TOTAL Allowed FAR	.48



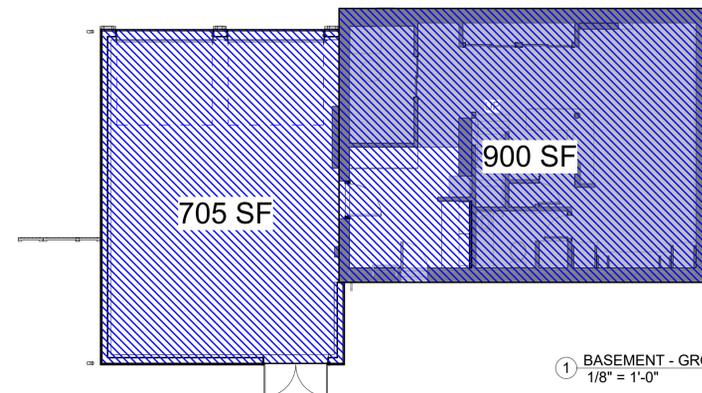
④ THIRD FLOOR - GROSS AREA
1/8" = 1'-0"



③ SECOND FLOOR - GROSS AREA
1/8" = 1'-0"



② FIRST FLOOR - GROSS AREA
1/8" = 1'-0"



① BASEMENT - GROSS AREA
1/8" = 1'-0"

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ISSUANCE:
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DATE: 11/9/2022

SCALE: 1/8" = 1'-0"

DRAWN: MJ

CHECKED: MJ

SHEET INFO:

FLOOR AREA RATIO

G102



EXISTING GARAGE & DEN - FRONT/SIDE



EXISTING GARAGE & DEN - FRONT



EXISTING GARAGE & DEN - BACK



MORSE
CONSTRUCTIONS

Servais Residence

4 Garrison Street
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ISSUANCE:
PERMIT SET

REVISION:

DATE: 11/9/2022

SCALE:

DRAWN: MJ

CHECKED: MJ

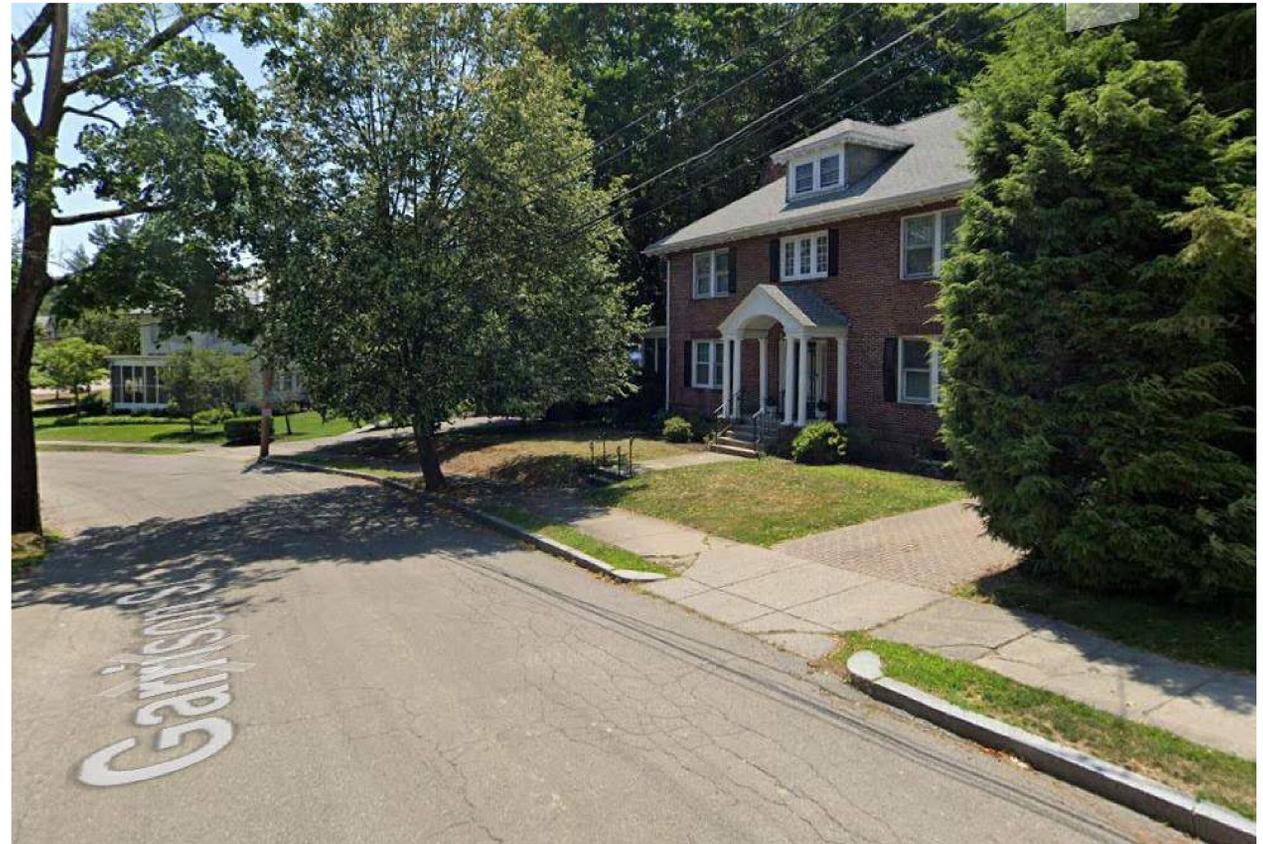
SHEET INFO:

PHOTOS

G103



MORSE
CONSTRUCTIONS



Servais Residence

4 Garrison Street
Newton, MA 02467



ISSUANCE:
PERMIT SET

REVISION:

DATE: 11/9/2022

SCALE:

DRAWN: MJ

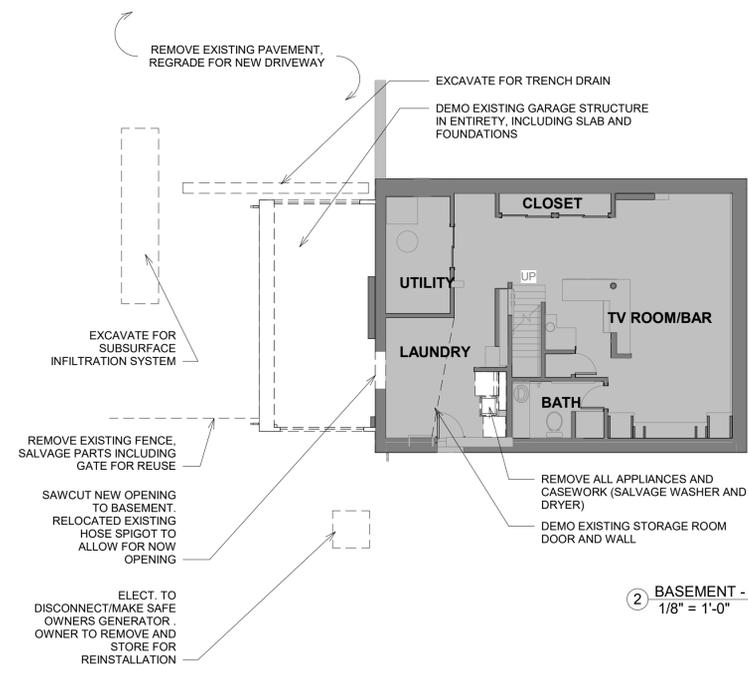
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SHEET INFO:
NEIGHBORHOOD PHOTOS

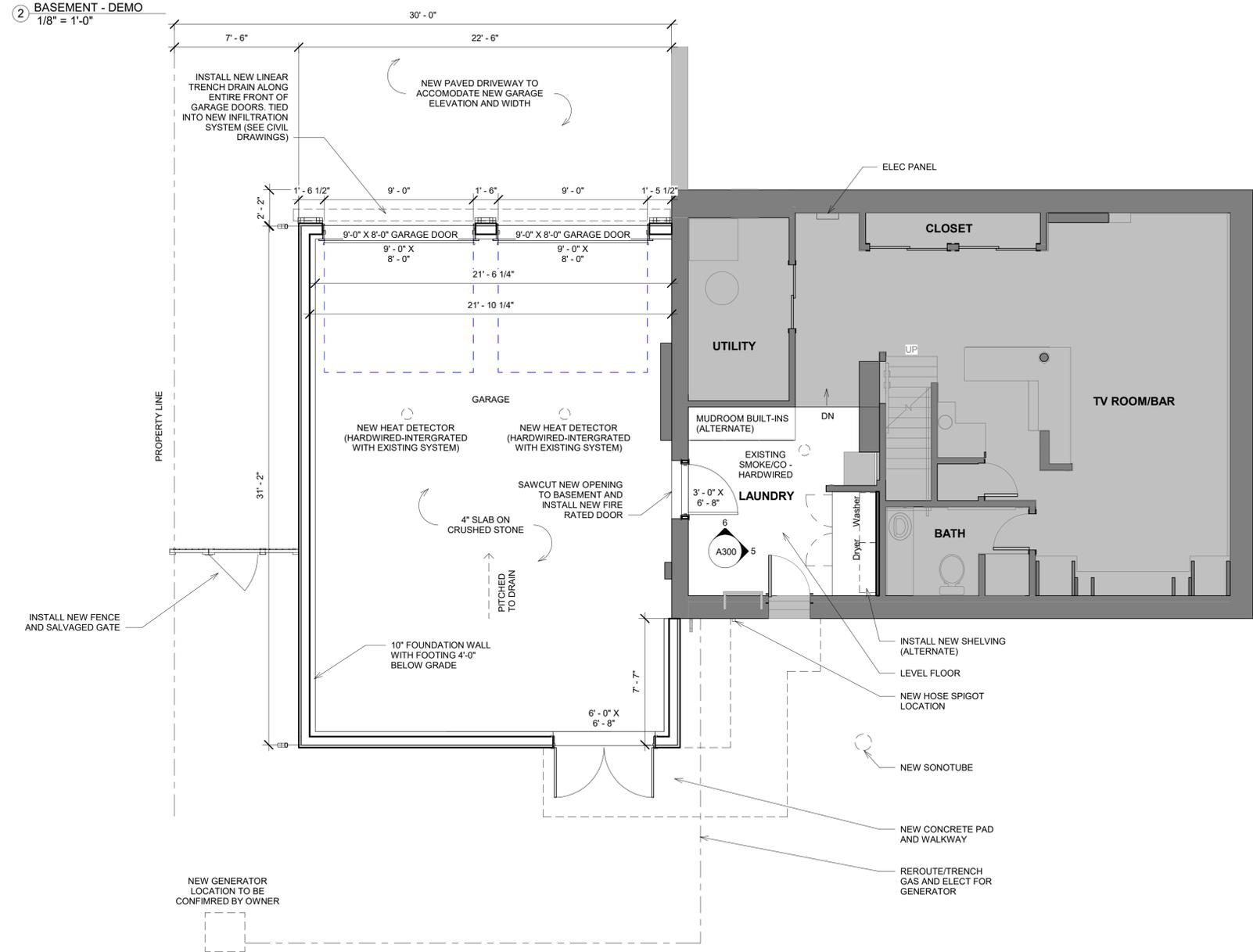
G104

DEMOLITION KEY	
	EXISTING WALLS TO REMAIN
	EXISTING TO REMAIN
	EXISTING TO BE REMOVED

PLAN & ELEVATION KEY	
	EXISTING WALLS TO REMAIN
	EXISTING TO REMAIN
	NEW CONSTRUCTION



② BASEMENT - DEMO
1/8" = 1'-0"



① BASEMENT
1/4" = 1'-0"

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ISSUANCE:
PERMIT SET

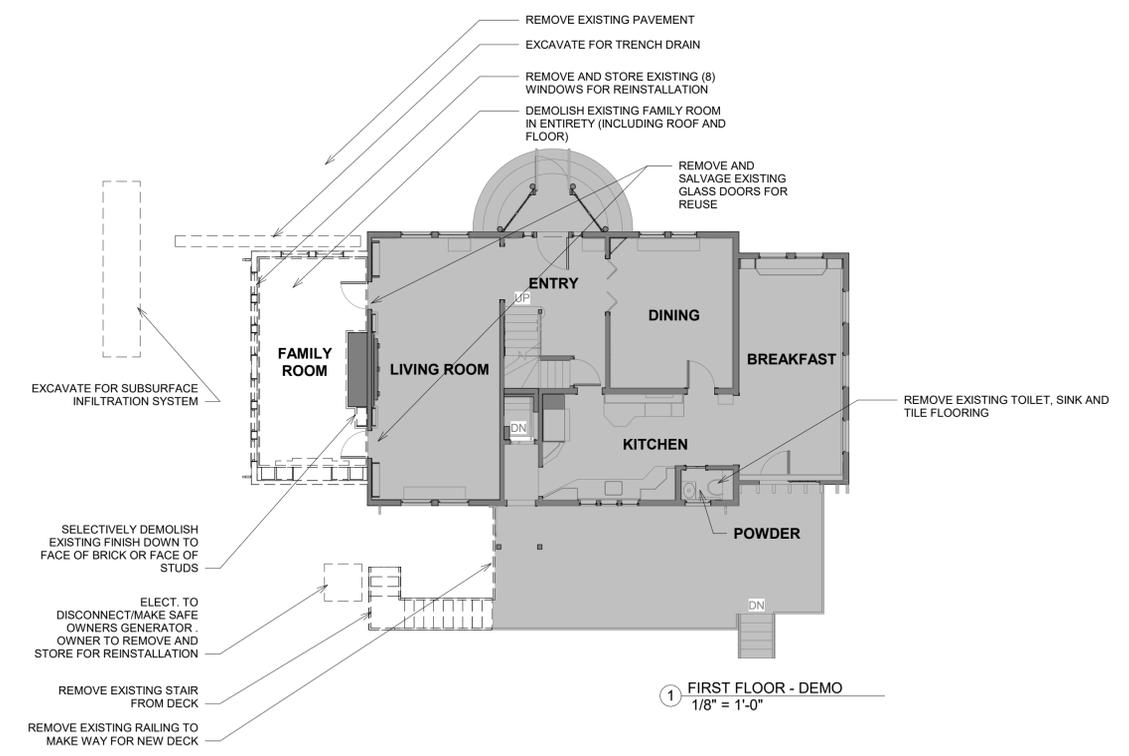
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DATE: 11/9/2022
SCALE: As indicated
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CHECKED: MJ
SHEET INFO: BASEMENT PLAN

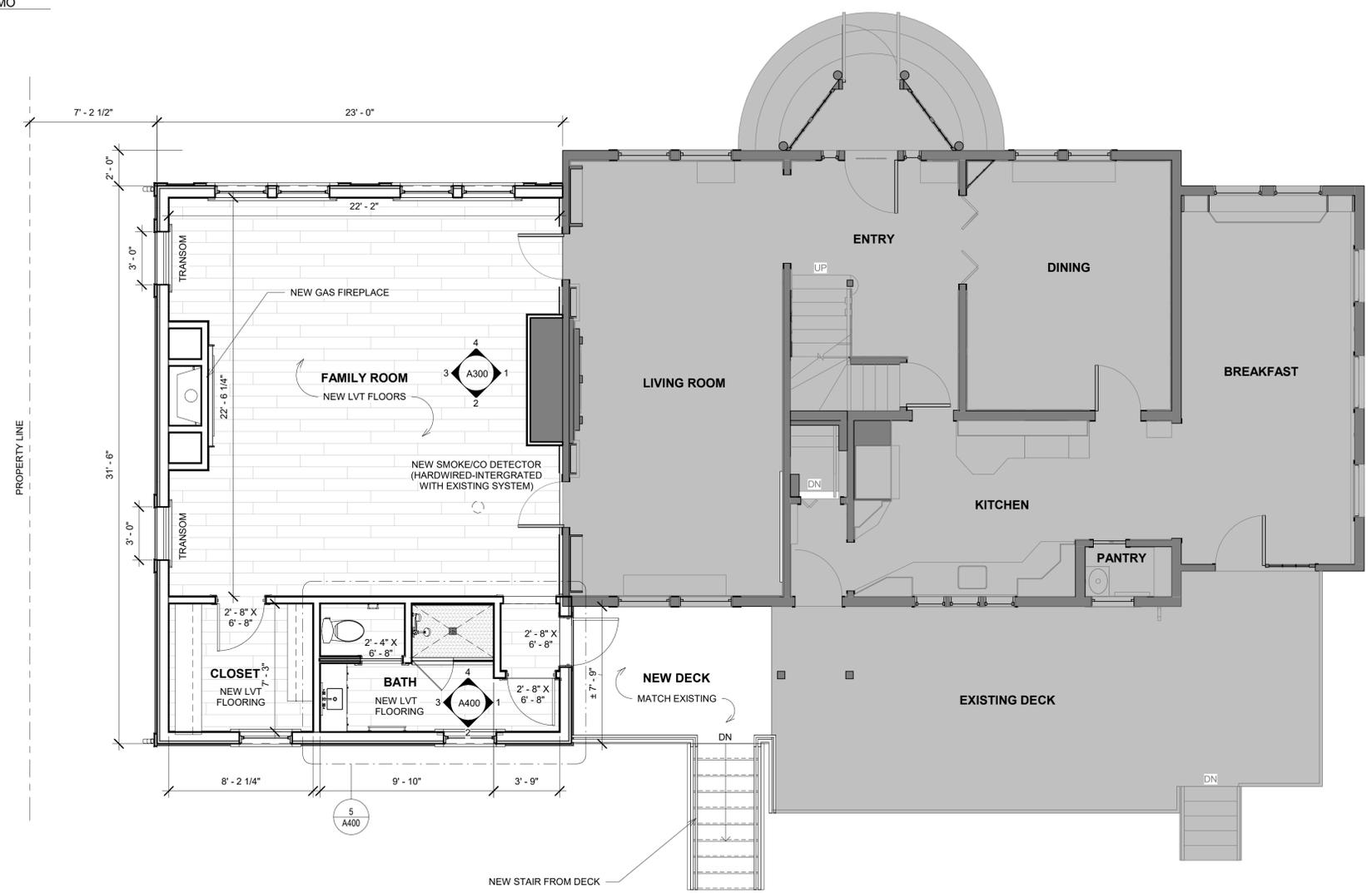
A100

DEMOLITION KEY	
	EXISTING WALLS TO REMAIN
	EXISTING TO REMAIN
	EXISTING TO BE REMOVED

PLAN & ELEVATION KEY	
	EXISTING WALLS TO REMAIN
	EXISTING TO REMAIN
	NEW CONSTRUCTION



1 FIRST FLOOR - DEMO
1/8" = 1'-0"



2 FIRST FLOOR
1/4" = 1'-0"

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ISSUANCE:	PERMIT SET
REVISION:	
DATE:	11/9/2022
SCALE:	As indicated
DRAWN:	MJ
CHECKED:	MJ
SHEET INFO:	FIRST FLOOR PLAN

A101



MORSE
CONSTRUCTIONS



② FRONT ELEVATION - EXISTING
1/4" = 1'-0"



① BACK ELEVATION - EXISTING
1/4" = 1'-0"

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ISSUANCE:
PERMIT SET

REVISION:

DATE: 11/9/2022

SCALE: 1/4" = 1'-0"

DRAWN: MJ

CHECKED: MJ

SHEET INFO:
EXISTING ELEVATIONS

EX200



MORSE
CONSTRUCTIONS

Servais Residence

4 Garrison Street
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ISSUANCE:
PERMIT SET

REVISION:

DATE: 11/9/2022
SCALE: 1/4" = 1'-0"
DRAWN: MJ
CHECKED: MJ

SHEET INFO:
EXISTING ELEVATIONS

EX201



① RIGHT ELEVATION - EXISTING
1/4" = 1'-0"



MORSE
CONSTRUCTIONS



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ISSUANCE:
PERMIT SET

REVISION:

DATE: 11/9/2022

SCALE: 1/4" = 1'-0"

DRAWN: MJ

CHECKED: MJ

SHEET INFO:
ELEVATIONS

A200



MORSE
CONSTRUCTIONS

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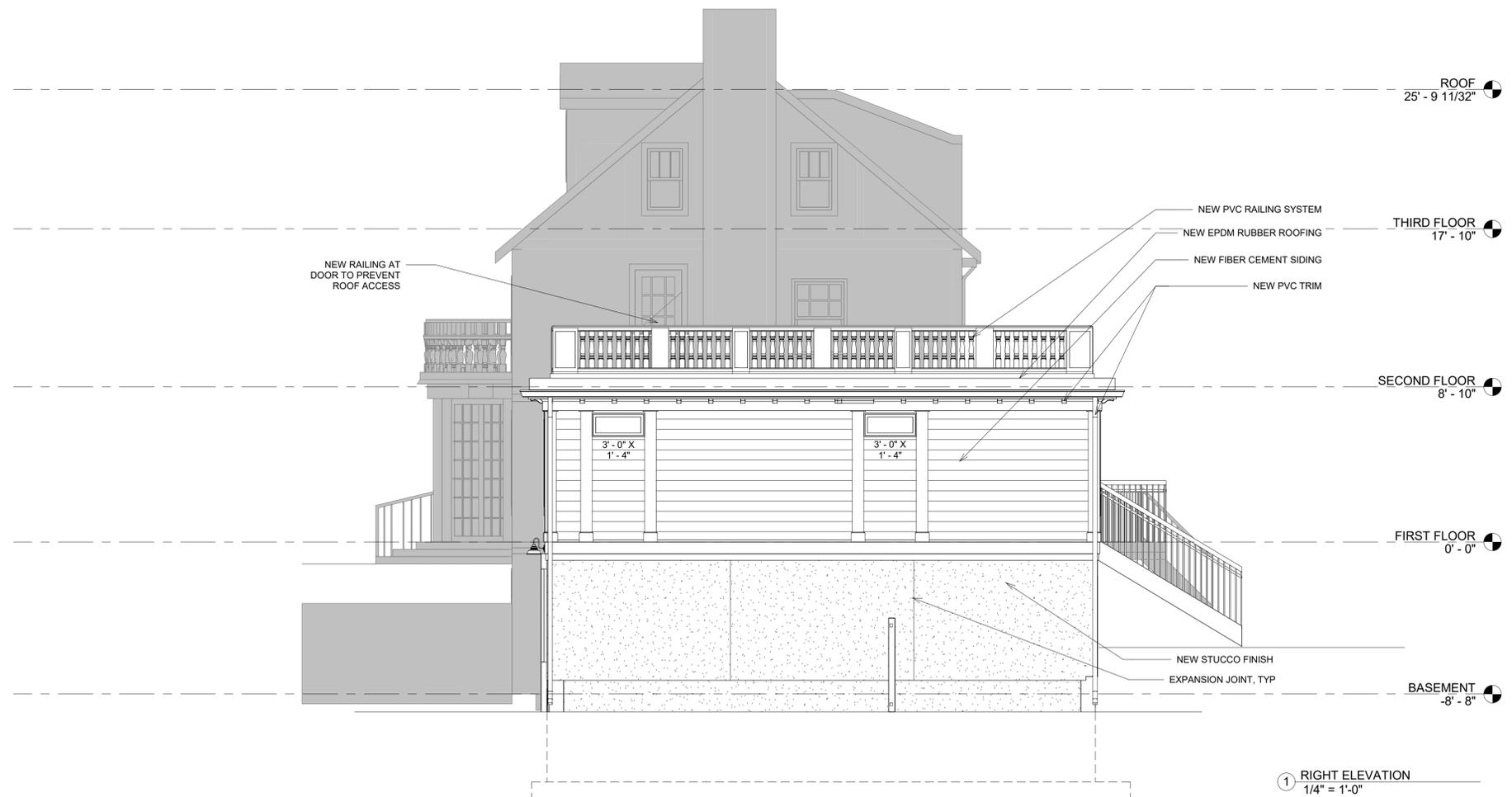


ISSUANCE:
PERMIT SET

REVISION:

DATE: 11/9/2022
SCALE: 1/4" = 1'-0"
DRAWN: MJ
CHECKED: MJ
SHEET INFO:
ELEVATIONS

A201





ISSUANCE:
PERMIT SET

REVISION:

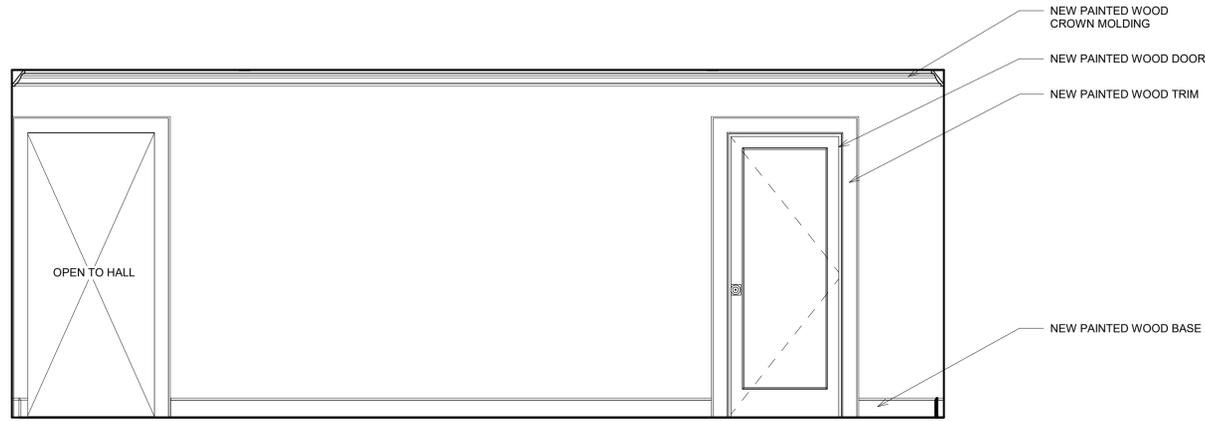
DATE: 11/9/2022

SCALE: 1/2" = 1'-0"

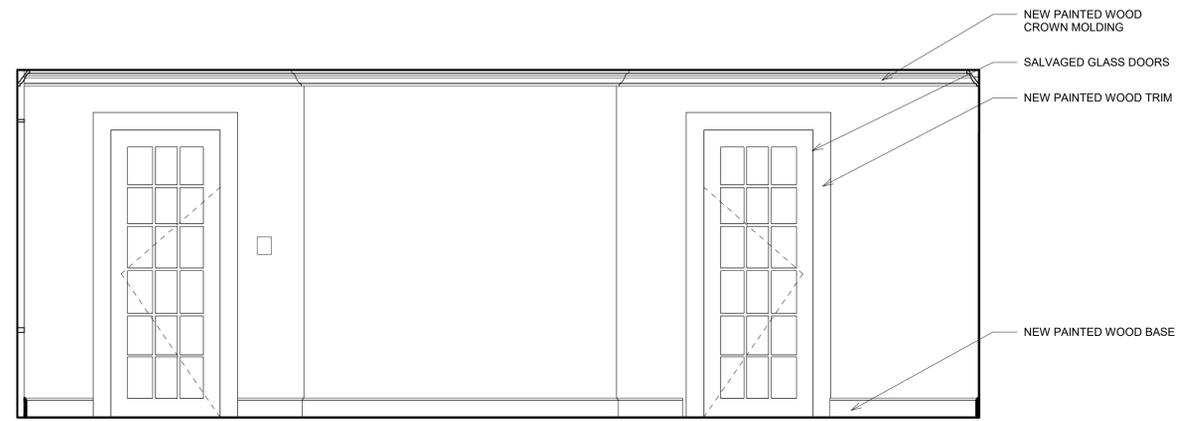
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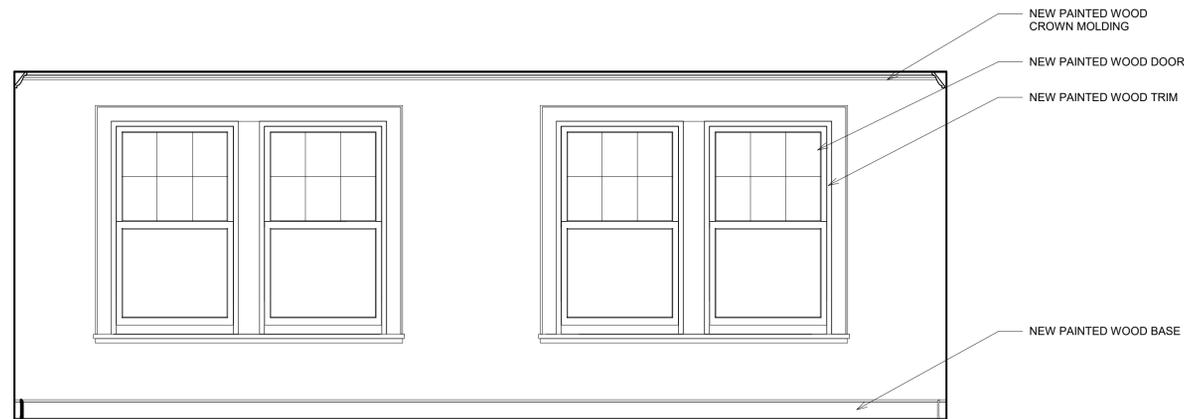
SHEET INFO:
INTERIOR ELEVATIONS



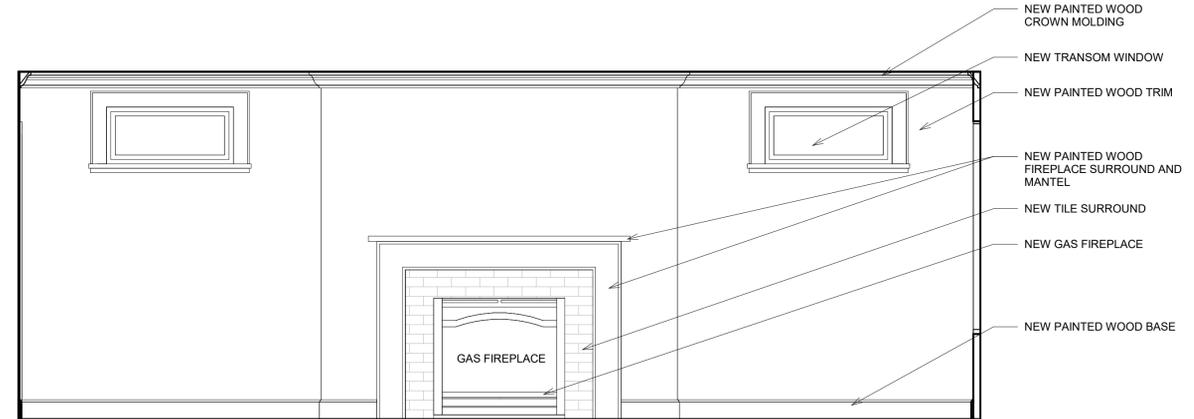
2 FAMILY ROOM ELEVATION 2
1/2" = 1'-0"



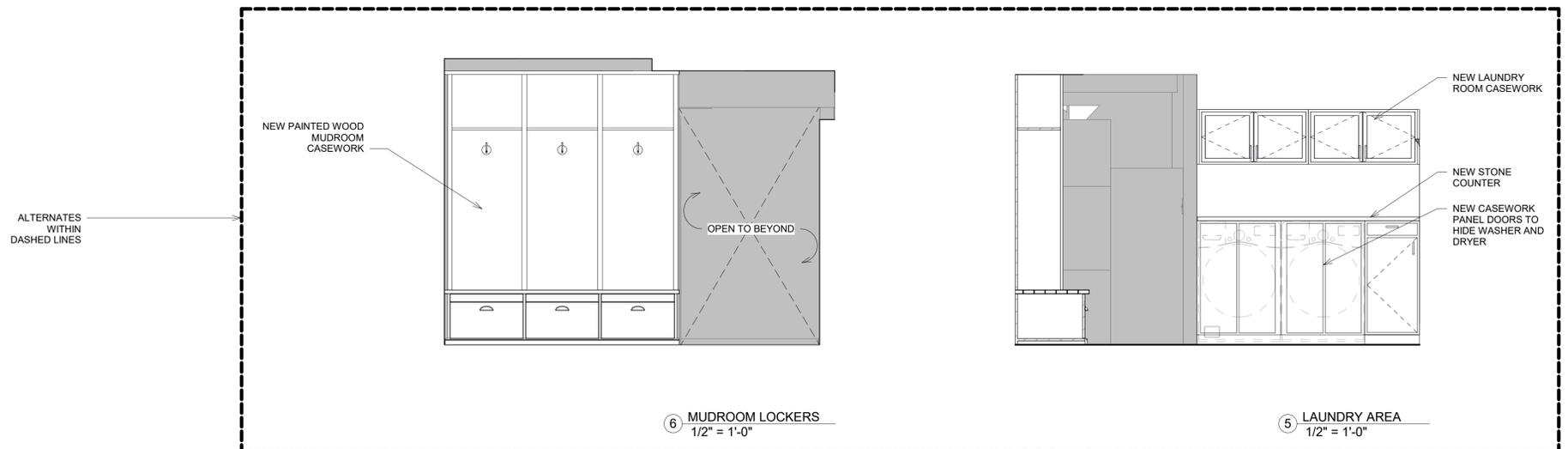
1 FAMILY ROOM ELEVATION 1
1/2" = 1'-0"



4 FAMILY ROOM ELEVATION 4
1/2" = 1'-0"



3 FAMILY ROOM ELEVATION 3
1/2" = 1'-0"

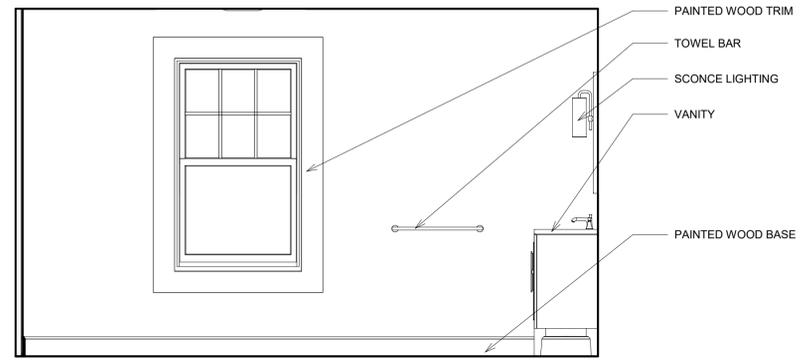


6 MUDROOM LOCKERS
1/2" = 1'-0"

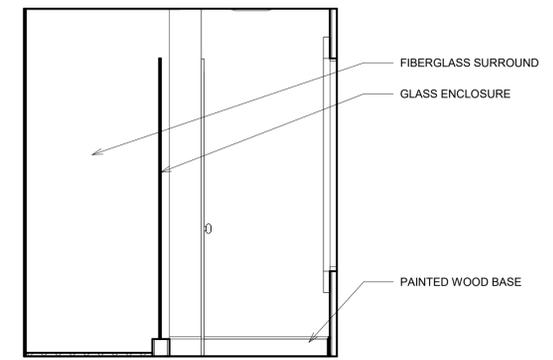
5 LAUNDRY AREA
1/2" = 1'-0"



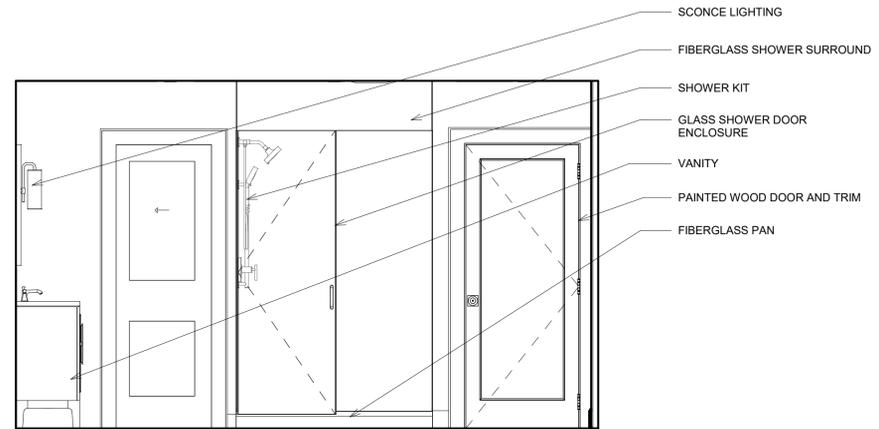
MORSE
CONSTRUCTIONS



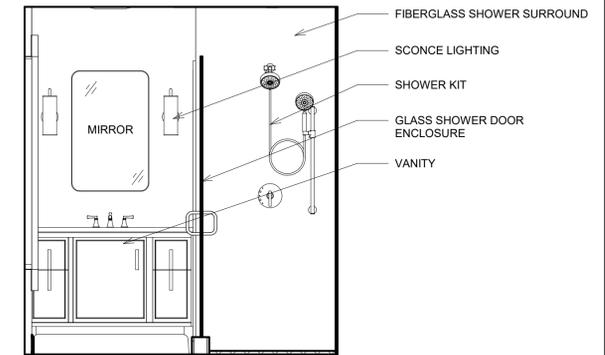
2 BATHROOM ELEVATION 2
1/2" = 1'-0"



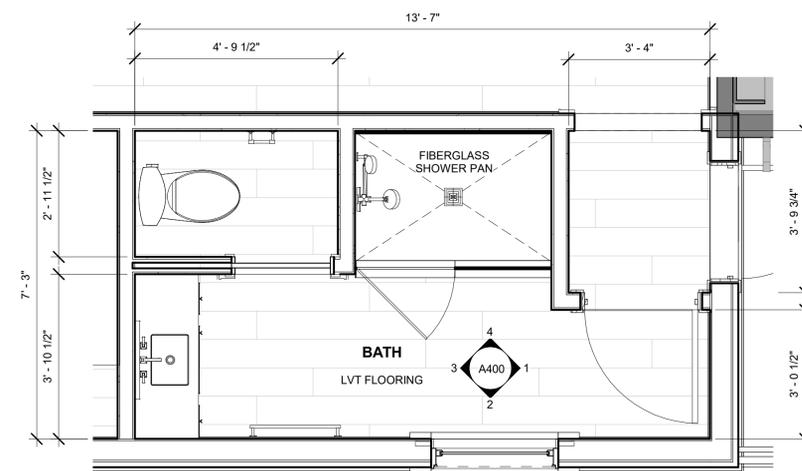
1 BATHROOM ELEVATION 1
1/2" = 1'-0"



4 BATHROOM ELEVATION 4
1/2" = 1'-0"



3 BATHROOM ELEVATION 3
1/2" = 1'-0"



5 ENLARGED BATHROOM PLAN
1/2" = 1'-0"

Servais Residence

4 Garrison Street
Newton, MA 02467



ISSUANCE:
PERMIT SET

REVISION:

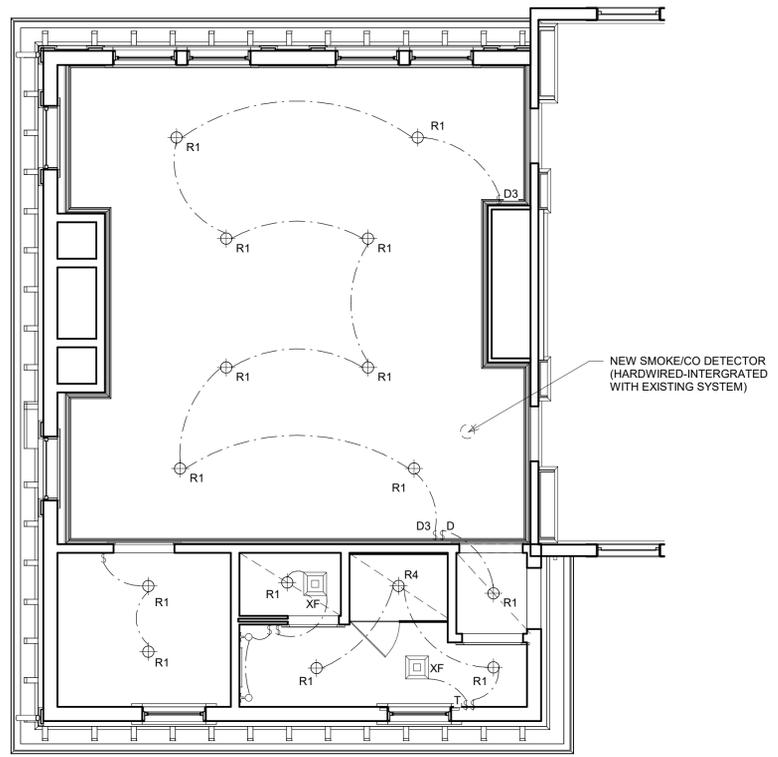
DATE: 11/9/2022
SCALE: 1/2" = 1'-0"
DRAWN: MJ
CHECKED: MJ

SHEET INFO:
ENLARGED BATHROOM PLAN AND
INTERIOR ELEVATIONS

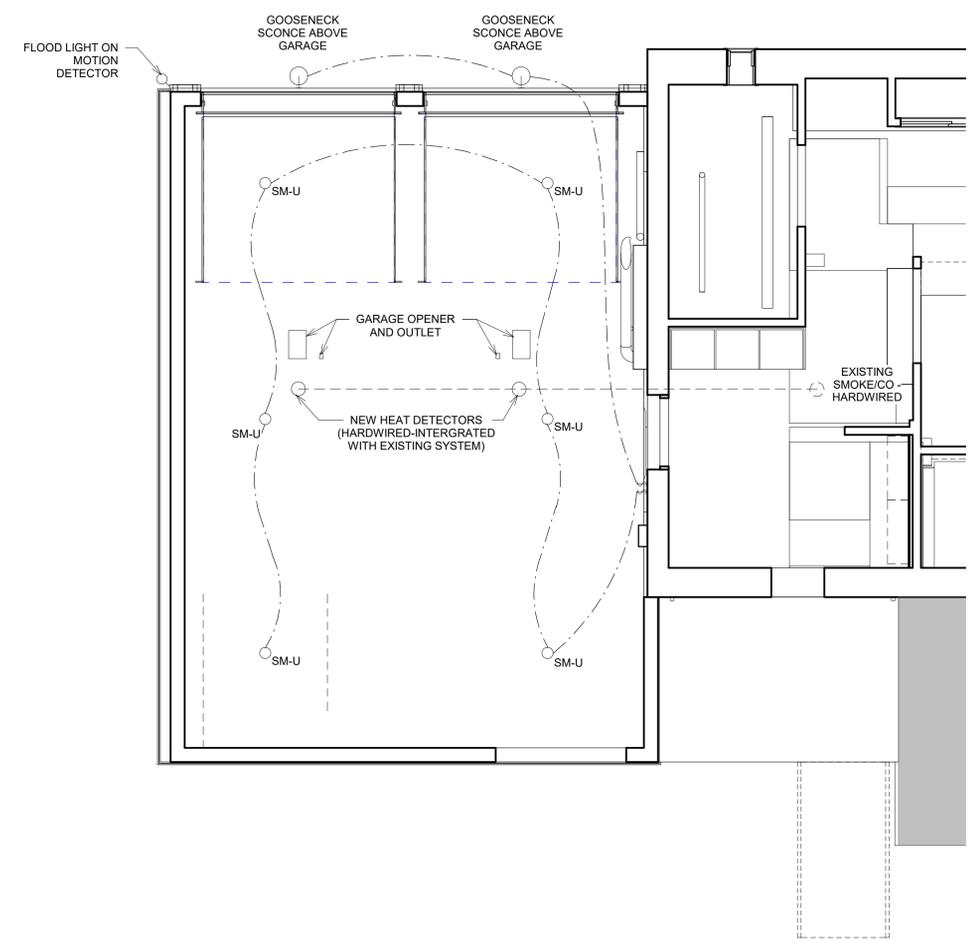
A400

RCP KEY			
	RECESSED CAN		SMOKE/CO DETECTOR
	DIRECTIONAL RECESSED CAN		HEAT DETECTOR
	PIN HOLE RECESSED CAN		EXHAUST FAN
	WET PROTECTED RECESSED CAN, SEE SPECIFICATIONS		FLOOD LIGHT
	LIGHTING STRIP		UNDER CABINET LIGHT
	PENDANT LIGHT, SEE SPECIFICATIONS		CIRCUIT WIRING
	SURFACE MOUNTED UTILITY LIGHT, SEE SPECIFICATIONS		SURFACE MOUNTED SCOFF, SEE SPECIFICATIONS
	SURFACE MOUNTED DECORATIVE LIGHT, SEE SPECIFICATIONS		
			LIGHT FIXTURE SWITCH
			3-WAY LIGHT FIXTURE SWITCH
			DIMMER LIGHT FIXTURE SWITCH

- ### ELECTRICAL NOTES
- EXACT LOCATIONS OF LIGHTING & OUTLETS TO BE CONFIRMED W/ OWNER & DESIGNER @ FINAL WALK-THRU W/ CONTRACTOR AND ELECTRICIAN
 - GFI OUTLET LOCATIONS IN BATHROOMS TO BE CONFIRMED W/ OWNER & DESIGNER
 - ALL CEILING FANS TO BE SWITCHED & W/ REMOTES
 - PROVIDE INTERCONNECTED SMOKE DETECTOR IN EACH BEDROOM, IN HALLWAY, ENTIRE HOME.
 - SMOKE DETECTORS SHALL BE MIN 3'-0" FROM BLADES
 - ALL BREAKER SHALL BE ARC-FAULT PROTECTED EXCEPT FOR GFCI CIRCUITS
 - ALL RECEPTACLES SHALL BE TAMPER-PROOF
 - ALL EXTERIOR GFCI OUTLETS NOT SHOWN IN PROTECTED LOCATIONS SHALL HAVE A COVER THAT CAN BE CLOSED OVER THE PLUG OF ANY ATTACHED DEVICES
 - ALL ACCENT LIGHTING TO BE COORDINATED BETWEEN OWNER/ARCHITECT & CONTRACTOR
 - ALL PROPOSED ELECTRICAL WORK TO BE IN ACCORDANCE WITH THE CURRENT NATIONAL ELECTRIC CODE.
 - ALL RECESSED LIGHTS, WALL SCOFFS & DECORATIVE PENDANTS TO BE ON DIMMERS
 - PROVIDE POWER PER MANUFACTURERS GUIDELINES/SPECIFICATIONS FOR ALL APPLIANCES
 - INSTALL NEW "HARD WIRE" FIRE ALARM DEVICES (SMOKE/CO) ENTIRE HOME
 - POWER ALL MECHANICAL, ELECTRICAL AND PLUMBING "EQUIPMENT". EACH SUB TO REVIEW REQUIREMENTS WITH ALL TRADES EQUIPMENT.



② FIRST FLOOR RCP
1/4" = 1'-0"



① BASEMENT RCP
1/4" = 1'-0"

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4 Garrison Street
Newton, MA 02467



ISSUANCE:
PERMIT SET

REVISION:

DATE: 11/9/2022

SCALE: 1/4" = 1'-0"

DRAWN: MJ

CHECKED: MJ

SHEET INFO:
REFLECTED CEILING PLANS

A700



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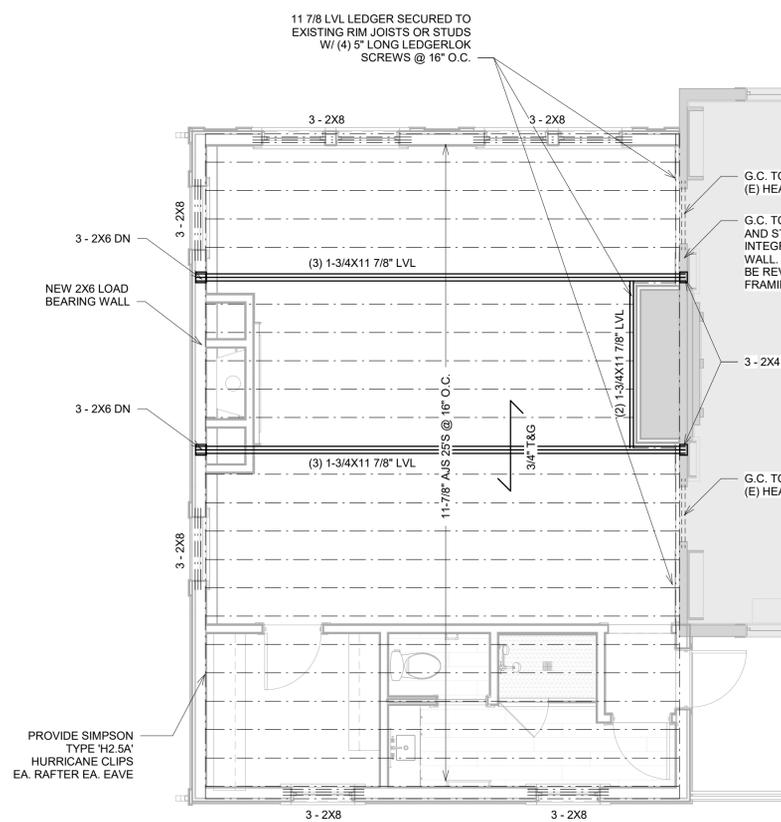
4 Garrison Street
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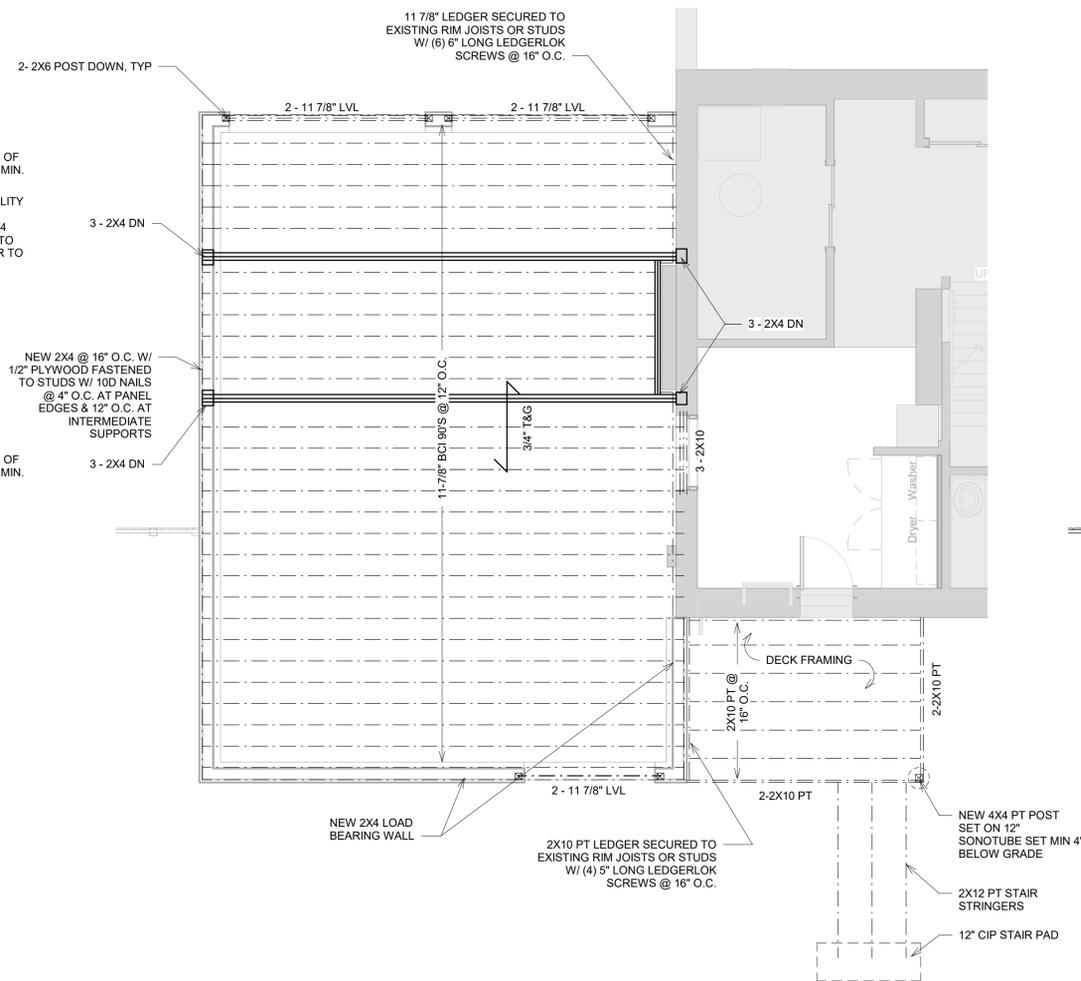
ISSUANCE:
PERMIT SET

REVISION:

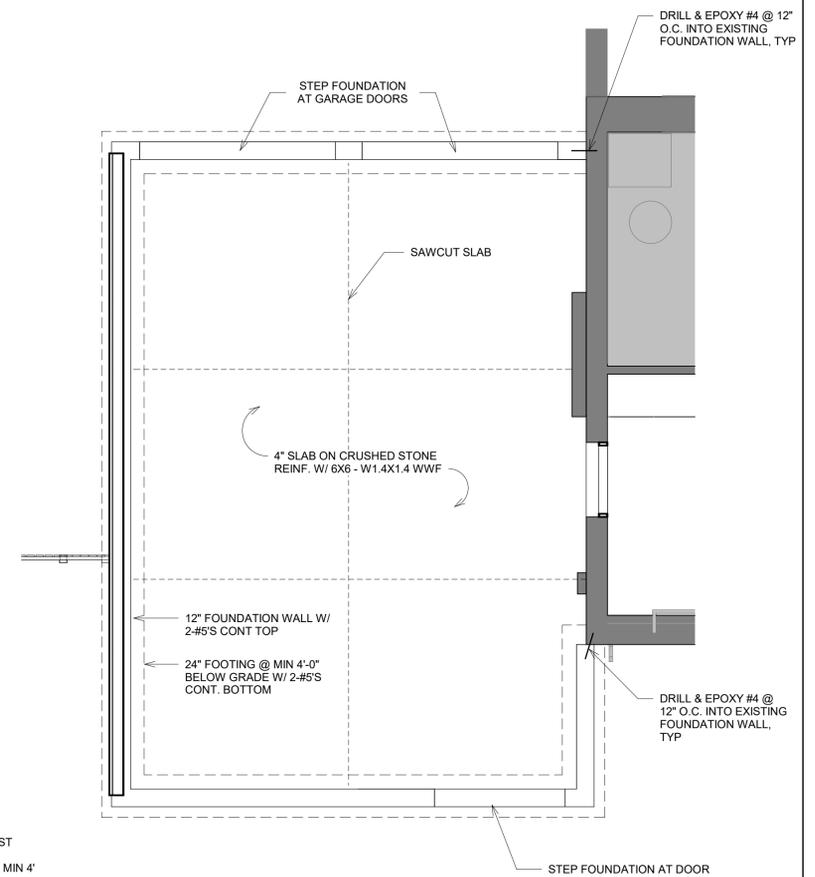
DATE: 11/9/2022
SCALE: 1/4" = 1'-0"
DRAWN: MJ
CHECKED: MJ
SHEET INFO: STRUCTURAL



3 STRUCTURAL SECOND FLOOR/ROOF
PLAN
1/4" = 1'-0"



2 STRUCTURAL FIRST FLOOR PLAN
1/4" = 1'-0"



1 STRUCTURAL FOUNDATION PLAN
1/4" = 1'-0"